

# SITE PLAN APPROVAL DRAWINGS

# COMMERCIAL CAMPUS AT FIELDS CORNER

**PUTNAM COUNTY  
NY 312 & PUGSLEY ROAD  
TOWN OF SOUTHEAST, NEW YORK**

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COLD SPRING, NEW YORK 10516  
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**JMC Drawing List:**

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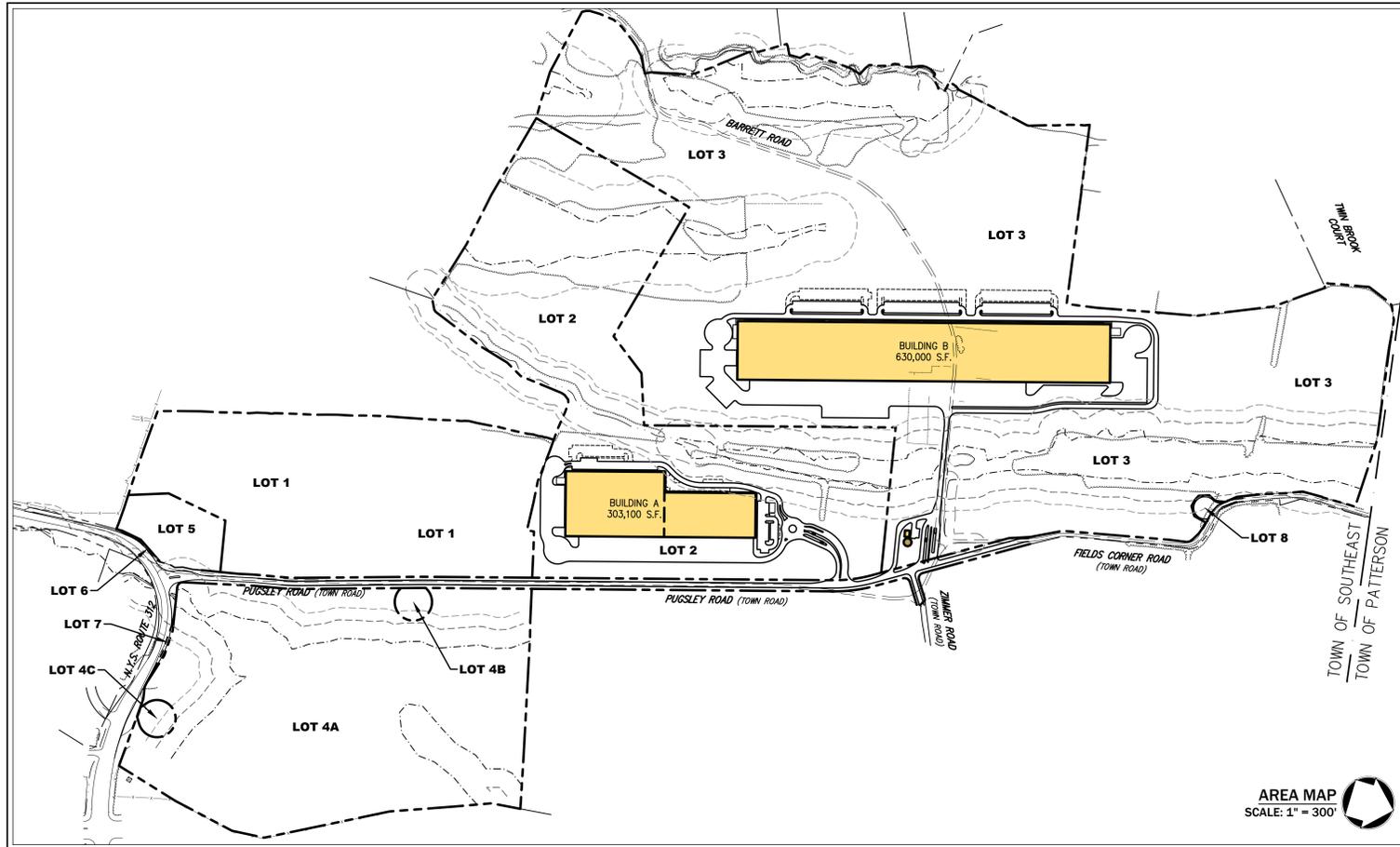


TABLE OF LAND USE			
PROPOSED USE: LIGHT MANUFACTURING EXISTING/PROPOSED ZONING DISTRICT: OFFICE PARK OP-3 DISTRICT <sup>(1)</sup>			
DESCRIPTION	REQUIRED /PERMITTED	PROVIDED	
		LOT 2	LOT 3
LOT AREA (MINIMUM) (SQUARE FEET/ACRES)	100,000/2.30	±2,809,882/±64.51	±7,162,767/±164.43
LOT WIDTH (MINIMUM) (FEET)	400	400	±2,320
LOT FRONTAGE (MINIMUM) (FEET)	400	±1,875	±2,885
LOT DEPTH (MINIMUM) (FEET)	400	±780	±965
BUILDING HEIGHT (MAXIMUM) (FEET/STORIES)	45/3	44/1	44/1
GROSS FLOOR AREA (MAXIMUM) (SQUARE FEET)	(SEE NOTE 2)	303,100	630,000
BUILDING COVERAGE (MAXIMUM) (PERCENT)	25	10.8	8.8
LOT COVERAGE TOTAL (MAXIMUM) (PERCENT)	55	23.9	19.4
OPEN SPACE (MINIMUM) (PERCENT)	45	76.1	80.6
BUILDABLE AREA CALCULATIONS <sup>(3)</sup>			
STATE DESIGNATED WETLANDS (SQUARE FEET/ACRES)	-	±117,272/±2.69	±717,629/±16.47
SLOPES OVER 25% IN GRADE (SQUARE FEET/ACRES)	-	±111,012/±2.55	±402,968/±9.25
TOTAL DEDUCTIONS (50%) (SQUARE FEET/ACRES)	-	±114,142/±2.62	±560,299/±12.66
NET BUILDABLE AREA (SQUARE FEET/ACRES)	-	±2,895,740/±66.89	±6,602,468/±151.57
FLOOR AREA RATIO (MAXIMUM) <sup>(3)</sup> (RATIO)	0.15/0.25 <sup>(4)</sup>	0.112	0.095
<b>YARDS</b>			
FRONT BUILDING SETBACK (FEET)	100/50 <sup>(5)</sup>	196	100
REAR BUILDING SETBACK (FEET)	50	250	82
SIDE BUILDING SETBACK (FEET)	50	120	120
<b>PARKING SETBACKS</b>			
FRONT PARKING SETBACK (FEET)	50/25 <sup>(5)</sup>	144	573
REAR PARKING SETBACK (FEET)	25	185	150
SIDE PARKING SETBACK (FEET)	25	81	50
<b>PARKING REQUIREMENTS</b>			
REQUIREMENT (SEE PARKING AND LOADING TABLE)	-	119	248
STANDARD SPACES PROVIDED	-	242	499
ACCESSIBLE SPACES PROVIDED	-	8	12
TOTAL PROVIDED	-	250	511
<b>LOADING REQUIREMENTS</b>			
REQUIREMENT (1 SPACE PER 40,000 S.F.)	-	8	16
PROVIDED	-	54	87

LOTS WITHOUT PROPOSED DEVELOPMENT		
LOT No.	DESCRIPTION	PROPOSED AREA (SQUARE FEET/ACRES)
LOT 1	EXISTING TAX MAP No. 45-1-4 PARCEL	±1,647,813/±37.83
LOT 4		
LOT 4A	EXISTING TAX MAP No. 45-1-12 PARCEL (NON-INCLUSIVE OF THE WELL PARCELS)	±2,421,160/±55.58
LOT 4B	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO PUGSLEY ROAD	±29,206/±0.67
LOT 4C	WELL PARCEL WITHIN EXISTING TAX MAP No. 45-1-12 CONTIGUOUS TO NY 312	±31,914/±0.73
LOT 5	POTENTIAL LAND DONATION PARCEL TO PUTNAM COUNTY	±168,593/±3.67
LOT 6	POTENTIAL LAND DONATION PARCEL TO NYSOT (WEST OF PUGSLEY ROAD)	±2,402/±0.06
LOT 7	POTENTIAL LAND DONATION PARCEL TO NYSOT (EAST OF PUGSLEY ROAD)	±4,167/±0.10
LOT 8	POTENTIAL LAND DONATION PARCEL TO TOWN OF SOUTHEAST	±13,735/±0.32

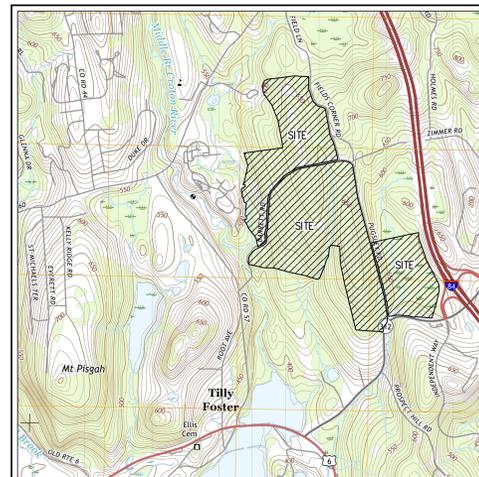
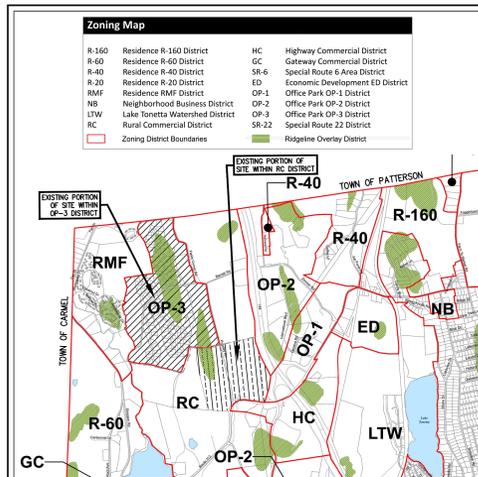
PARKING AND LOADING TABLE									
DESCRIPTION	BUILDING SIZE (S.F.)	ANTICIPATED EMPLOYEES (1 EMPLOYEE / 1,695 S.F. ON MAXIMUM SHIFT) <sup>(1)(2)</sup>	TOWN PARKING REQUIREMENT (1 SPACE / 1.5 EMPLOYEE ON MAXIMUM SHIFT)	PARKING PROVIDED		LOADING DOCKS AND TRAILER SPACES			
				PROPOSED	LANDBANKED	TOTAL PROVIDED (0.81 SPACE / 1,000 S.F.)	LOADING DOCKS	TRAILER PARKING	TOTAL PROVIDED
BUILDING A	303,100	179	119	119	131	250	54	19	73
BUILDING B	630,000	372	248	248	263	511	87	123	200
<b>TOTAL</b>	<b>933,100</b>	<b>551</b>	<b>367</b>	<b>367</b>	<b>394</b>	<b>761</b>	<b>141</b>	<b>142</b>	<b>273</b>

**PARKING AND LOADING TABLE NOTES:**

- THE ANTICIPATED NUMBER OF EMPLOYEES IS BASED ON THE RATIO OF EMPLOYEES TO SQUARE FEET OF FLOOR AREA ON THE MAXIMUM SHIFT PUBLISHED BY ENR/ENRSTAR.GOV FOR TYPICAL WAREHOUSE SPACE. NEW CONSTRUCTION HIGHLY MECHANIZED WAREHOUSE SPACES TYPICALLY HAVE LOWER EMPLOYEE DENSITIES.
- SEPTIC AREAS HAVE BEEN CONSERVATIVELY SIZED FOR THE POTENTIAL DAILY EMPLOYEE TOTALS UTILIZING THE NYSDEC PUBLICATION "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATED SIZED WASTEWATER TREATMENT SYSTEMS" DATED MARCH 5, 2014. THE PUBLICATION ALLOWS FOR A 20 PERCENT REDUCTION FROM THE 15 GALLONS PER DAY (GPD) RECOMMENDATION FOR LOW FLOW FIXTURES EQUATING TO A DESIGN FLOW RATE OF 12 GPD PER EMPLOYEE.
  - BUILDING A: 375 EMPLOYEES (4,500 GPD REQUIRED)
  - BUILDING B: 665 EMPLOYEES (7,980 GPD REQUIRED)
  - TOTAL: 1,040 EMPLOYEES

**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED. EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNEXPECTED INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMMING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBGRADE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.
- THERE SHALL BE NO MORE THAN FIVE ACRES OF DISTURBED SOIL AT ANY TIME, PROJECT WIDE, WITHOUT PRIOR WRITTEN APPROVAL FROM THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.



SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMBINATION OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By
1.	DES COMPLETENESS SUBMISSION	05/11/2018	KRM
2.	DES COMPLETENESS SUBMISSION	06/08/2018	KRM
3.	FEIS COMPLETENESS SUBMISSION	03/18/2019	KRM
4.	REVISED PER TOWN COMMENTS	05/07/2019	KRM
5.	REVISED PER FEIS COMMENTS	11/16/2019	KRM
6.	SWPPP REVISIONS	12/09/2019	KRM
7.	REVISED PER NYSDEC COMMENTS	06/17/2020	KRM

JMC Planning, Engineering, Landscape Architects & Land Surveying, PLLC  
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John Myer Consulting, Inc.  
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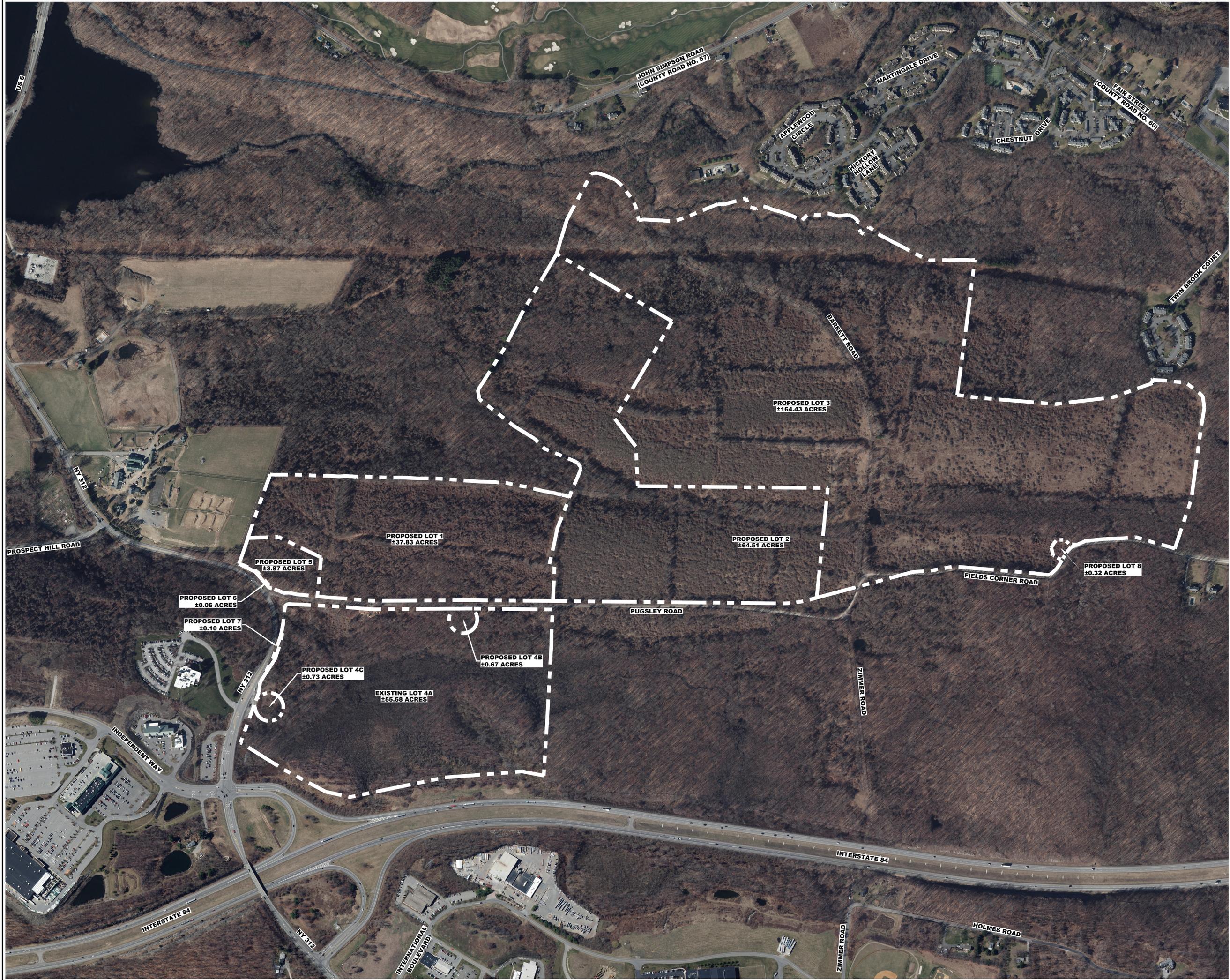
Drawn	KRM	Approved	RJP
Scale	AS SHOWN		
Date	11/06/2017		
Project No.	14012		
REVISED PER TOWN COMMENTS			
REVISED PER FEIS COMMENTS			
REVISED PER NYSDEC COMMENTS			

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 1209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 1209, SUBSECTION 2.

**C-000**

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



No.	Revisions	Date
1.	THIS COMPLETENESS SUBMISSION	05/17/2018
2.	FEE COMPLETENESS SUBMISSION	05/18/2018
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FEE COMMENTS	11/09/2019
5.	REVISED PER NYCEP COMMENTS	09/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 KING STREET  
 CHAPPAQUA, NY 10514

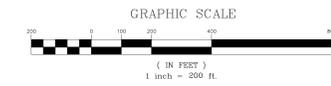
JMC Planning, Engineering, Landscape  
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 120 BEAUFORT ROAD - WARREN, NY 10594  
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**AERIAL PHOTOGRAPH**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS,  
 SPECIFICATIONS, PLATS AND  
 REPORTS BEARING THE SEAL  
 OF A LICENSED PROFESSIONAL  
 ENGINEER OR LICENSED LAND  
 SURVEYOR IS A VIOLATION OF  
 SECTION 7209 OF THE NEW  
 YORK STATE EDUCATION LAW  
 EXCEPT AS PROVIDED FOR BY  
 SECTION 7209, SUBSECTION 2.

Drawn: KSM	Approved: R.P.
Scale: 1" = 200'	
Date: 11/06/2017	
Project No: 14012	
MDP-NYCEP: R.C. AEMAL, RAYC-FEAS	
Drawing No:	<b>C-001</b>



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING EASEMENT
	EXISTING NYDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYDEC LIMITING DISTANCE
	SOIL BOUNDARY LINE
	SOIL DESIGNATION AND HYDROLOGIC SOIL GROUP
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	APPROXIMATE EXISTING TREE LINE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BACEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SEI CONSULTING ENGINEERS.

No.	Revisions	Date	By
1.	FEES COMPLETENESS SUBMISSION	05/17/2018	KSM
2.	FEES COMPLETENESS SUBMISSION	05/18/2018	KSM
3.	REVISED PER TOWN COMMENTS	05/07/2019	KSM
4.	REVISED PER FEES COMMENTS	11/09/2019	KSM
5.	REVISED PER NYDEC COMMENTS	09/17/2020	KSM

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
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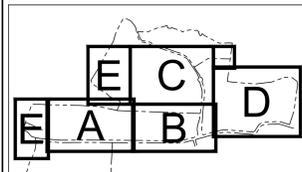
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OVERALL EXISTING CONDITIONS MAP  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn	KSM	Approved	RJP
Scale	1" = 200'		
Date	11/06/2017		
Project No.	14012		
File Name	OVERALL EXIST	0_12EST.dwg	
Drawing No.	C-010		

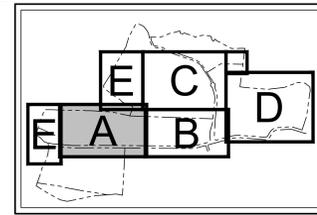


KEY MAP  
SCALE: 1" = 1,500'

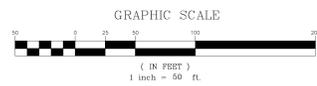


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DATE PLOTTED: 11/06/2017 10:58:00 AM  
DRAWING NO.: C-010  
PROJECT NO.: 14012  
FILE NAME: OVERALL EXIST  
SCALE: 1" = 200'



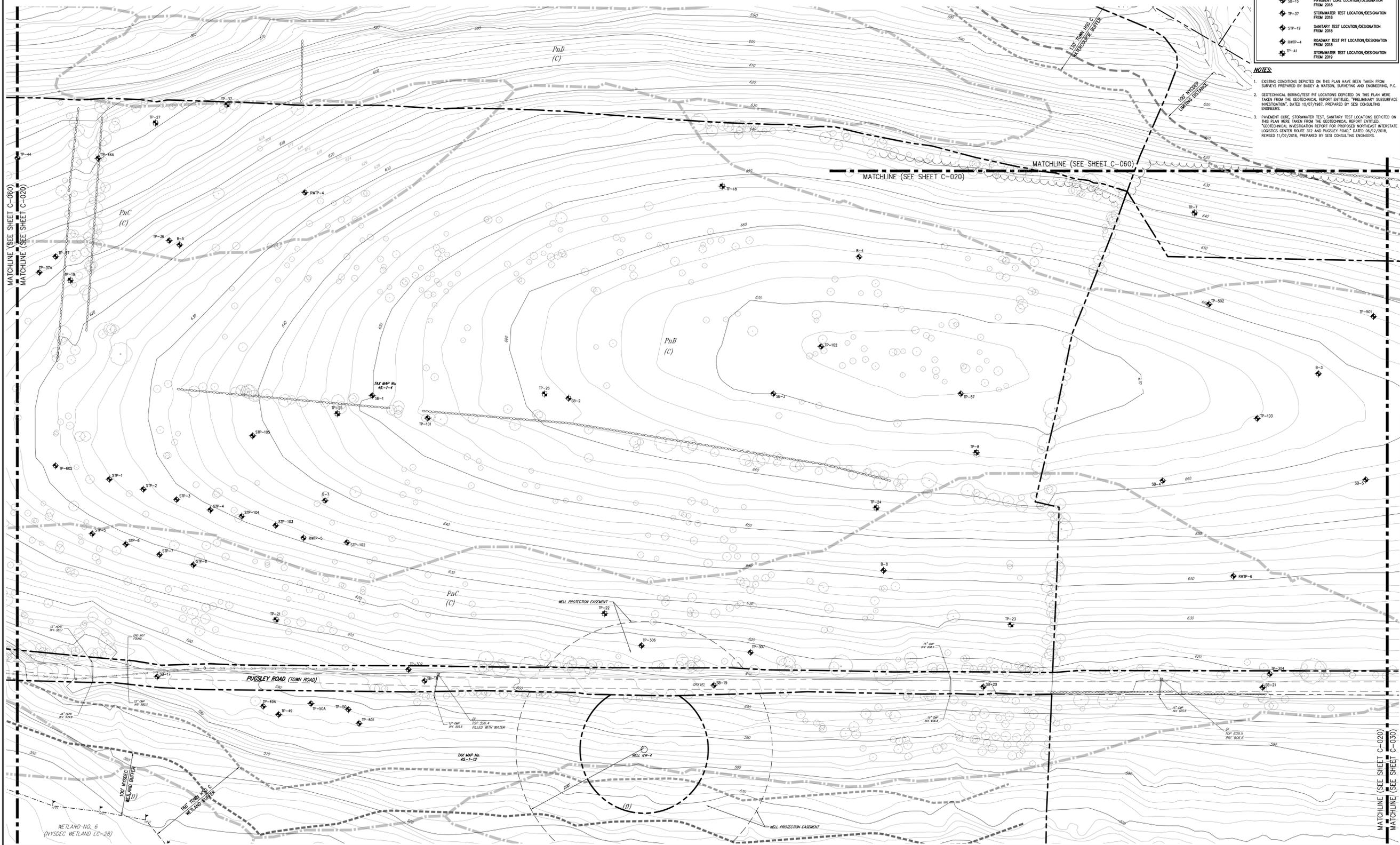
**KEY MAP**  
SCALE: 1" = 1,500'



LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE
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	EXISTING WETLAND LINE AND DELINEATION
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	APPROXIMATE EXISTING TREE LINE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	TEST PIT LOCATION/DESIGNATION FROM 1987
	BORING LOCATION/DESIGNATION FROM 2014
	PAVEMENT CORE LOCATION/DESIGNATION FROM 2014
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
	SANITARY TEST LOCATION/DESIGNATION FROM 2018
	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2019
	STORMWATER TEST LOCATION/DESIGNATION FROM 2019

No.	Revision	Date
1.	THIS COMPLETENESS SUBMISSION	05/17/2018
2.	FEES COMPLETENESS SUBMISSION	03/18/2019
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FEES COMMENTS	11/09/2019
5.	REVISED PER NYDEC COMMENTS	09/17/2020

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
  - PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUGSLEY ROAD", DATED 08/12/2016, REVISED 11/07/2016, PREPARED BY SES CONSULTING ENGINEERS.



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**EXISTING CONDITIONS MAP 'A'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

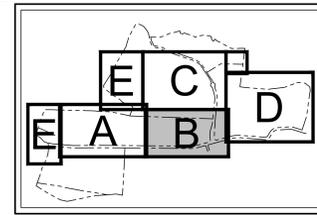
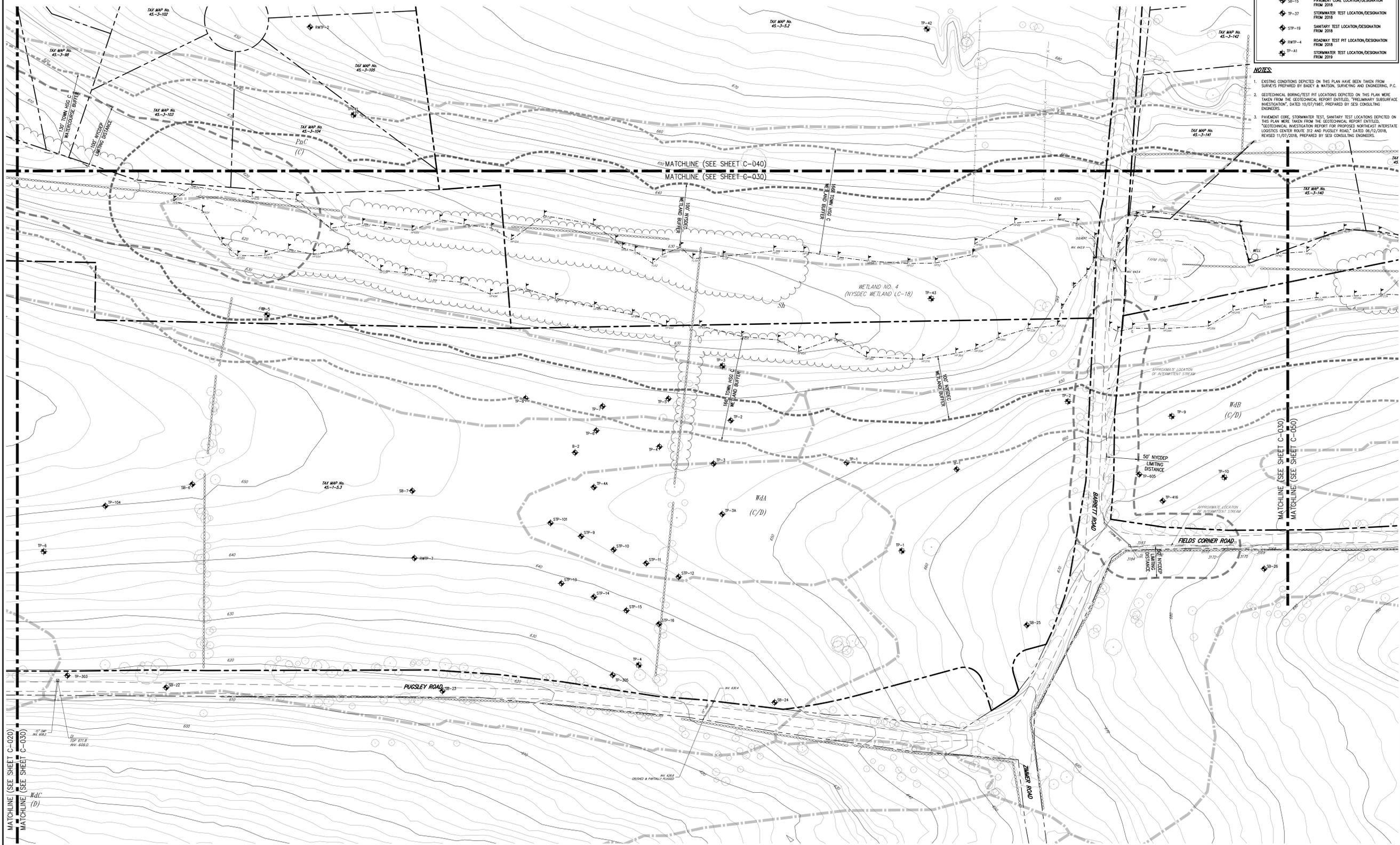
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR A LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	RJP
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
NYDEC	EXISTING A	DATE	
Client			

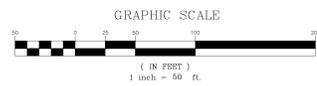
**C-020**

NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-020)  
MATCHLINE (SEE SHEET C-030)



KEY MAP  
SCALE: 1" = 1,500'



**LEGEND**

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	EXISTING LOT LINE
[Symbol]	ADJACENT PROPERTY LINE
[Symbol]	EXISTING METLAND LINE AND DELINEATION
[Symbol]	EXISTING NYSDEC WETLAND BUFFER
[Symbol]	EXISTING TOWN WETLAND BUFFER
[Symbol]	EXISTING NYCEEP LIMITING DISTANCE
[Symbol]	SOIL BOUNDARY LINE
[Symbol]	SOIL DESIGNATION AND HYDROLOGIC SOIL GROUP
[Symbol]	EXISTING BUILDING LINE
[Symbol]	EXISTING PAVEMENT EDGE
[Symbol]	EXISTING CURB LINE
[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING INDEX CONTOUR
[Symbol]	EXISTING STONE WALL
[Symbol]	EXISTING GUIDE RAIL
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING TREE AND DESIGNATION
[Symbol]	APPROXIMATE EXISTING TREE LINE
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING STORM DRAIN LINE AND SIZE
[Symbol]	EXISTING OVERHEAD WIRES
[Symbol]	EXISTING UTILITY POLE
[Symbol]	TEST PIT LOCATION/DESIGNATION FROM 1987
[Symbol]	BORING LOCATION/DESIGNATION FROM 1987
[Symbol]	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018
[Symbol]	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
[Symbol]	SANITARY TEST LOCATION/DESIGNATION FROM 2018
[Symbol]	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
[Symbol]	STORMWATER TEST LOCATION/DESIGNATION FROM 2019

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAILEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
  - PAVEMENT CORE STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUSLEY ROAD, DATED 06/12/2016, REVISED 11/07/2016, PREPARED BY SES CONSULTING ENGINEERS.

No.	Revision	Date	By	CHK	APP
1.	THIS COMPLETENESS SUBMISSION	05/17/2018	KSM		
2.	FEES COMPLETENESS SUBMISSION	05/18/2018	KSM		
3.	REVISED PER TOWN COMMENTS	05/07/2019	KSM		
4.	REVISED PER FEES COMMENTS	11/09/2019	KSM		
5.	REVISED PER NYCEEP COMMENTS	09/17/2020	KSM		

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEAUFORT ROAD - WARREN, NY 10564  
VOICE 518.233.5525 - FAX 518.272.2192  
www.jmcplc.com



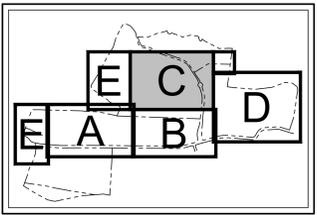
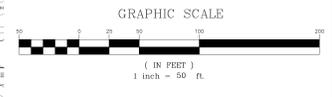
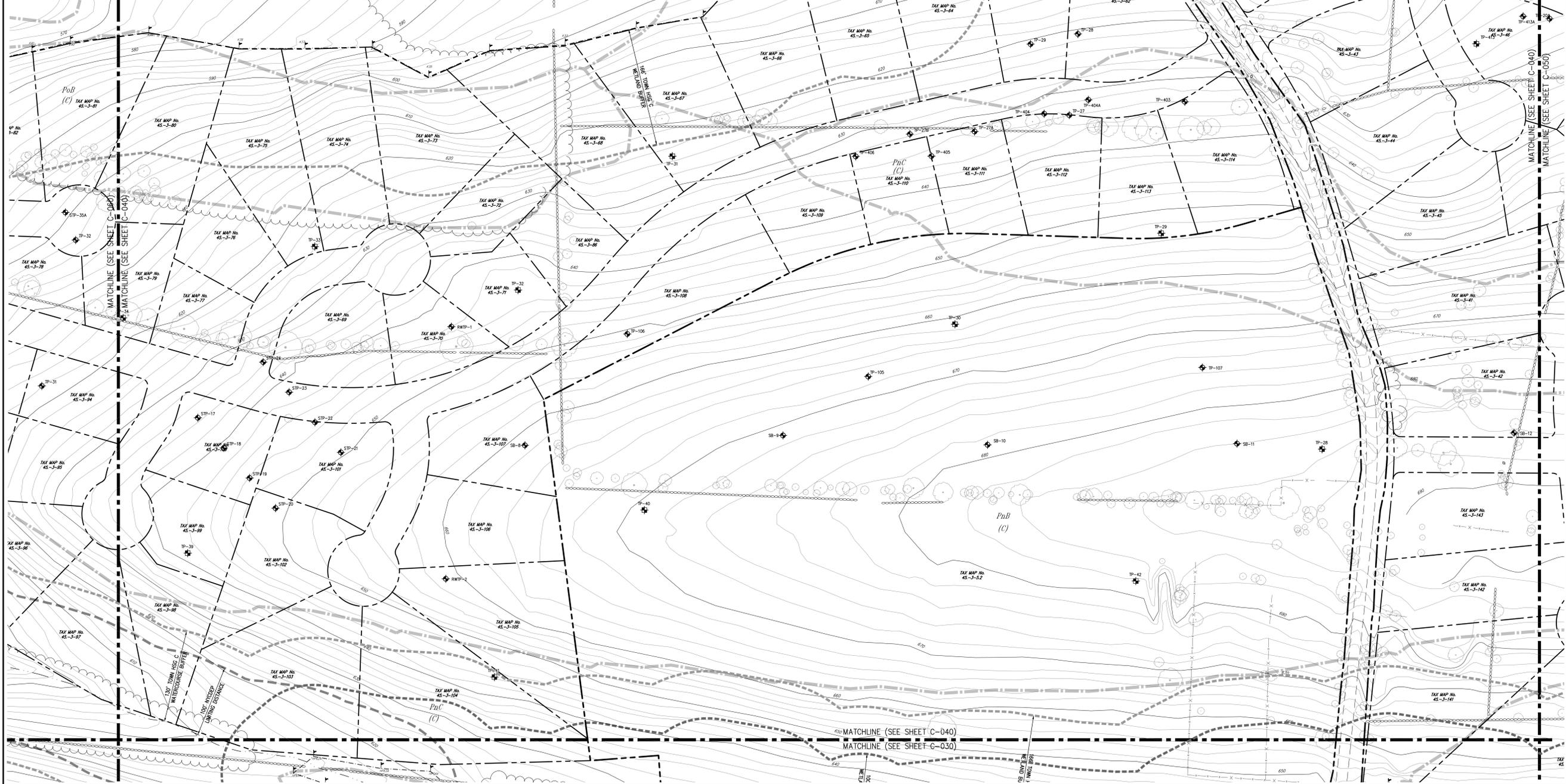
EXISTING CONDITIONS MAP 'B'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	R.P.
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
REVISION	EXISTING B	DATE	0_10/21/17
Drawing No.	C-030		

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING LOT LINE
	ADJACENT PROPERTY LINE
	EXISTING METLAND LINE AND DELINEATION
	EXISTING NYDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYDEC LIMITING DISTANCE
	SOIL BOUNDARY LINE
	SOIL DESIGNATION AND HYDROLOGIC SOIL GROUP
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	APPROXIMATE EXISTING TREE LINE
	EXISTING FAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLES
	TEST PIT LOCATION/DESIGNATION FROM 1987
	BORING LOCATION/DESIGNATION FROM 1987
	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
	SANITARY TEST LOCATION/DESIGNATION FROM 2018
	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAILEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
  - PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 392 AND PUSSELLY ROAD, DATED 06/22/2016, REVISED 11/07/2016, PREPARED BY SES CONSULTING ENGINEERS.



KEY MAP  
SCALE: 1" = 1,500'

No.	Revision	Date
1.	DESIGN SUBMISSION	05/17/2018
2.	DESIGN SUBMISSION	05/18/2018
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER TOWN COMMENTS	11/09/2019
5.	REVISED PER NYDEC COMMENTS	09/17/2020

APPLICANT/TOWNSHIP:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
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120 BEAUFORT ROAD - WARREN, NY 10564  
PHONE: 518.233.5523 - FAX: 518.273.2192  
www.jmcpllc.com



EXISTING CONDITIONS MAP 'C'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn: KSM	Approved: RJP
Scale: 1" = 50'	
Date: 11/06/2017	
Project No: 14012	
Revision: EXISTING C	Sheet: C-040
<b>C-040</b>	

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION



**NOTES:**  
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BARRY A. WATSON, SURVEYING AND ENGINEERING, P.C.  
2. GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SEI CONSULTING ENGINEERS.  
3. PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUSSETT ROAD", DATED 06/12/2018, REVISED 11/07/2018, PREPARED BY SEI CONSULTING ENGINEERS.

**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING LOT LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYDEC LIMITING DISTANCE
	SOIL BOUNDARY LINE
	SOIL DESIGNATION AND HYDROLOGIC SOIL GROUP
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	APPROXIMATE EXISTING TREE LINE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	TEST PIT LOCATION/DESIGNATION FROM 1987
	BORING LOCATION/DESIGNATION FROM 1987
	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
	SANITARY TEST LOCATION/DESIGNATION FROM 2018
	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018

No.	Revision	Date
1.	THIS COMPLETENESS SUBMISSION	05/17/2018
2.	FEES COMPLETENESS SUBMISSION	03/18/2019
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FEES COMMENTS	11/09/2019
5.	REVISED PER NYDEC COMMENTS	09/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

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120 BEAUFORT ROAD - WARREN, NY 13554  
PHONE: 518.233.5243 - FAX: 518.272.2122  
www.jmcpllc.com

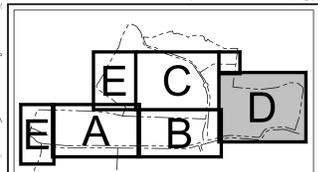


**EXISTING CONDITIONS MAP 'D'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

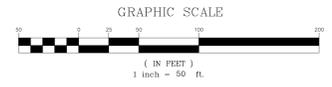
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Drawn: KSM	Approved: RJP
Scale: 1" = 50'	
Date: 11/06/2017	
Project No: 14012	
Sheet No: EXISTING D	Sheet No: D_EXSTING
Drawing No:	

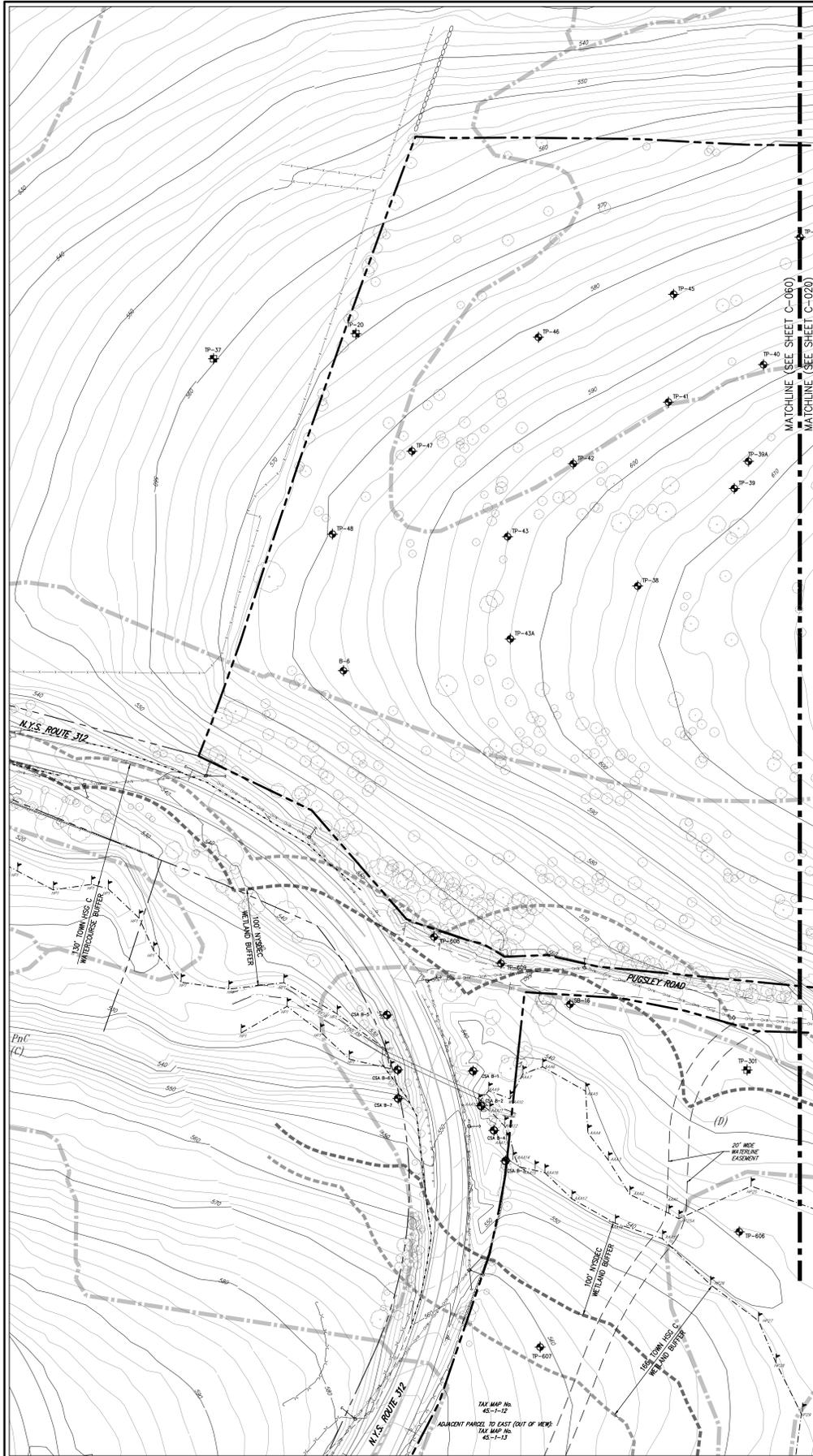
**C-050**



**KEY MAP**  
SCALE: 1" = 1,500'



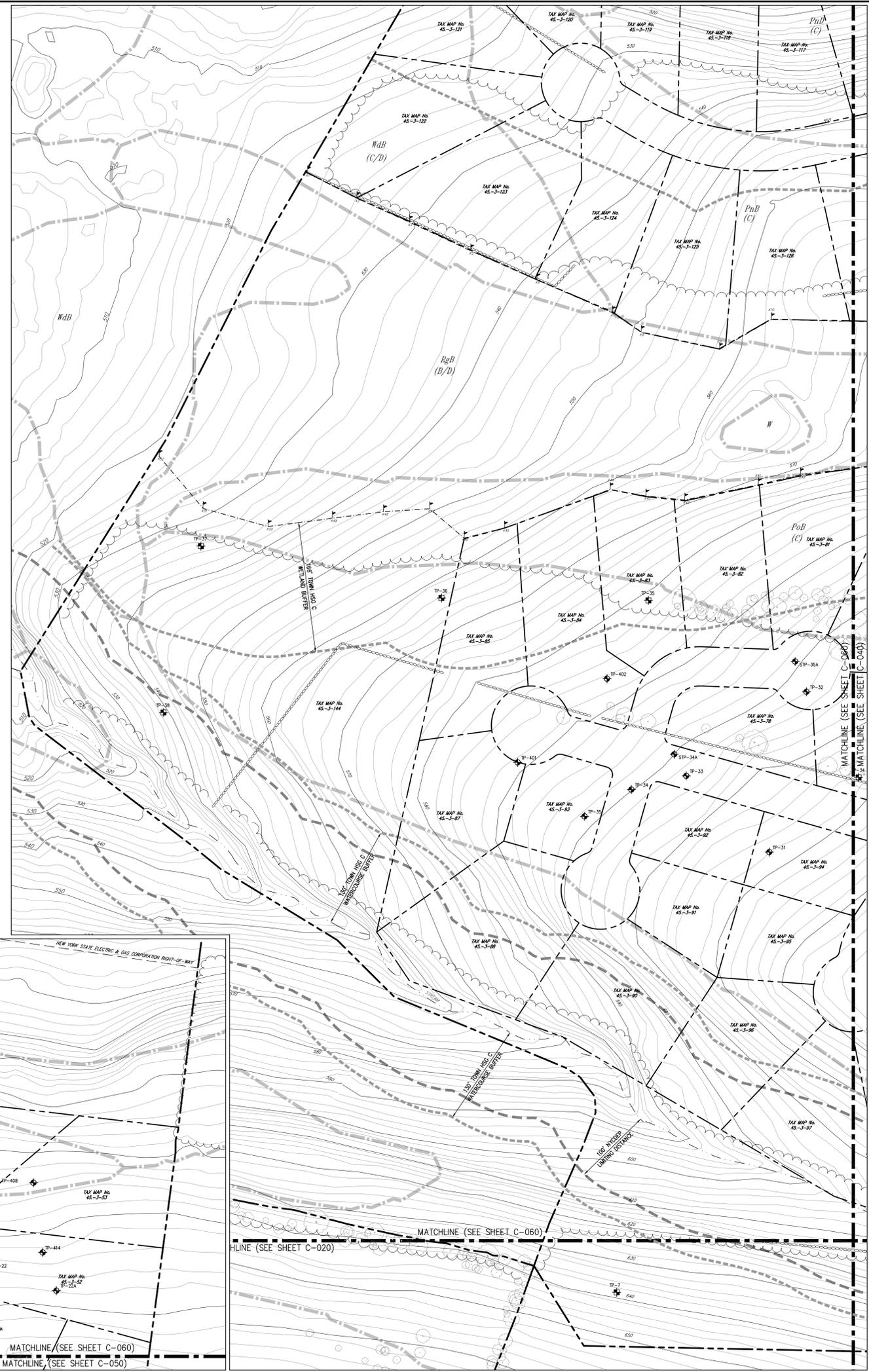
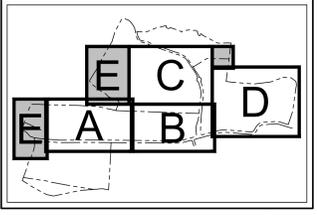
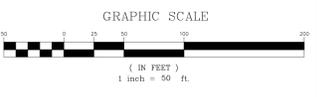
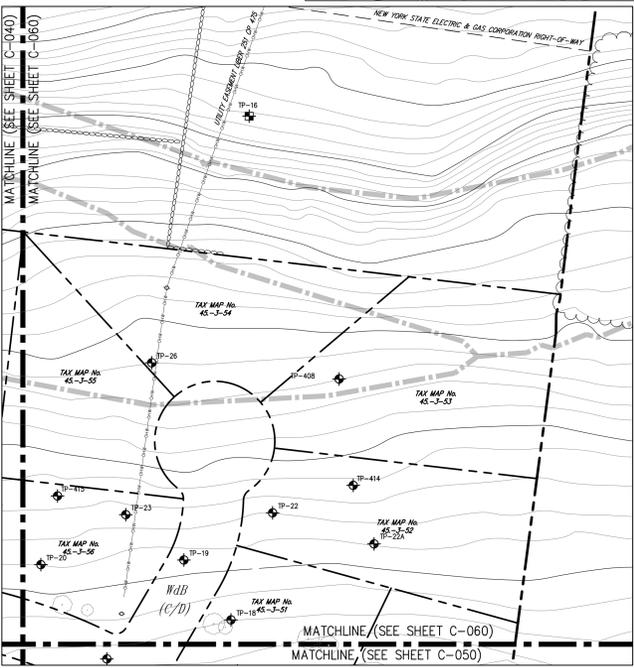
NOT FOR CONSTRUCTION



**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING LOT LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYSDCC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYCEP LIMITING DISTANCE
	SOIL BOUNDARY LINE
	SOIL DESIGNATION AND HYDROLOGIC SOIL GROUP
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	APPROXIMATE EXISTING TREE LINE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	TEST PIT LOCATION/DESIGNATION FROM 1987
	BORING LOCATION/DESIGNATION FROM 1987
	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
	SANITARY TEST LOCATION/DESIGNATION FROM 2018
	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
	STORMWATER TEST LOCATION/DESIGNATION FROM 2019

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY SACKETT & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
  - PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUSSEY ROAD," DATED 06/12/2016, REVISED 11/07/2016, PREPARED BY SES CONSULTING ENGINEERS.



No.	Date	Revision
1.	05/17/2018	DESIGN SUBMISSION
2.	05/18/2018	DESIGN SUBMISSION
3.	05/07/2019	REVISED PER TOWN COMMENTS
4.	11/09/2019	REVISED PER TOWN COMMENTS
5.	09/17/2020	REVISED PER NYCEP COMMENTS

APPLICANT/TOWN:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
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120 BEAUFORT ROAD - WARREN, NY 10564  
PHONE: 518.233.5253 - FAX: 518.272.2102  
www.jmcplc.com



**EXISTING CONDITIONS MAP 'E'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn:	KSM	Approved:	RJP
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet No.:	EXISTING E	Sheet No.:	0_EXST
<b>C-060</b>			

DESCRIPTION	BUILDING SIZE (S.F.)	ANTICIPATED EMPLOYEES (1 EMPLOYEE / 1,695 S.F. ON MAXIMUM SHIFT)	TOWN PARKING REQUIREMENT (1 SPACE / 1.5 EMPLOYEE ON MAXIMUM SHIFT)	PARKING PROVIDED			LOADING DOCKS AND TRAILER SPACES		
				PROPOSED	LANDBANKED	TOTAL PROVIDED (0.81 SPACE / 1,000 S.F.)	LOADING DOCKS	TRAILER PARKING	TOTAL PROVIDED
				BUILDING A	303,100	179	119	119	131
BUILDING B	630,000	372	248	248	263	511	87	123	200
<b>TOTAL</b>	<b>933,100</b>	<b>551</b>	<b>367</b>	<b>367</b>	<b>394</b>	<b>761</b>	<b>141</b>	<b>142</b>	<b>273</b>

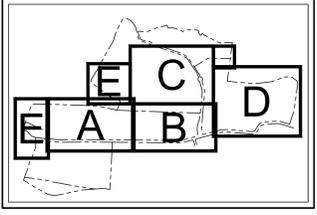
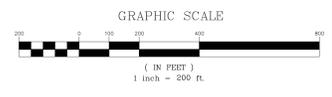
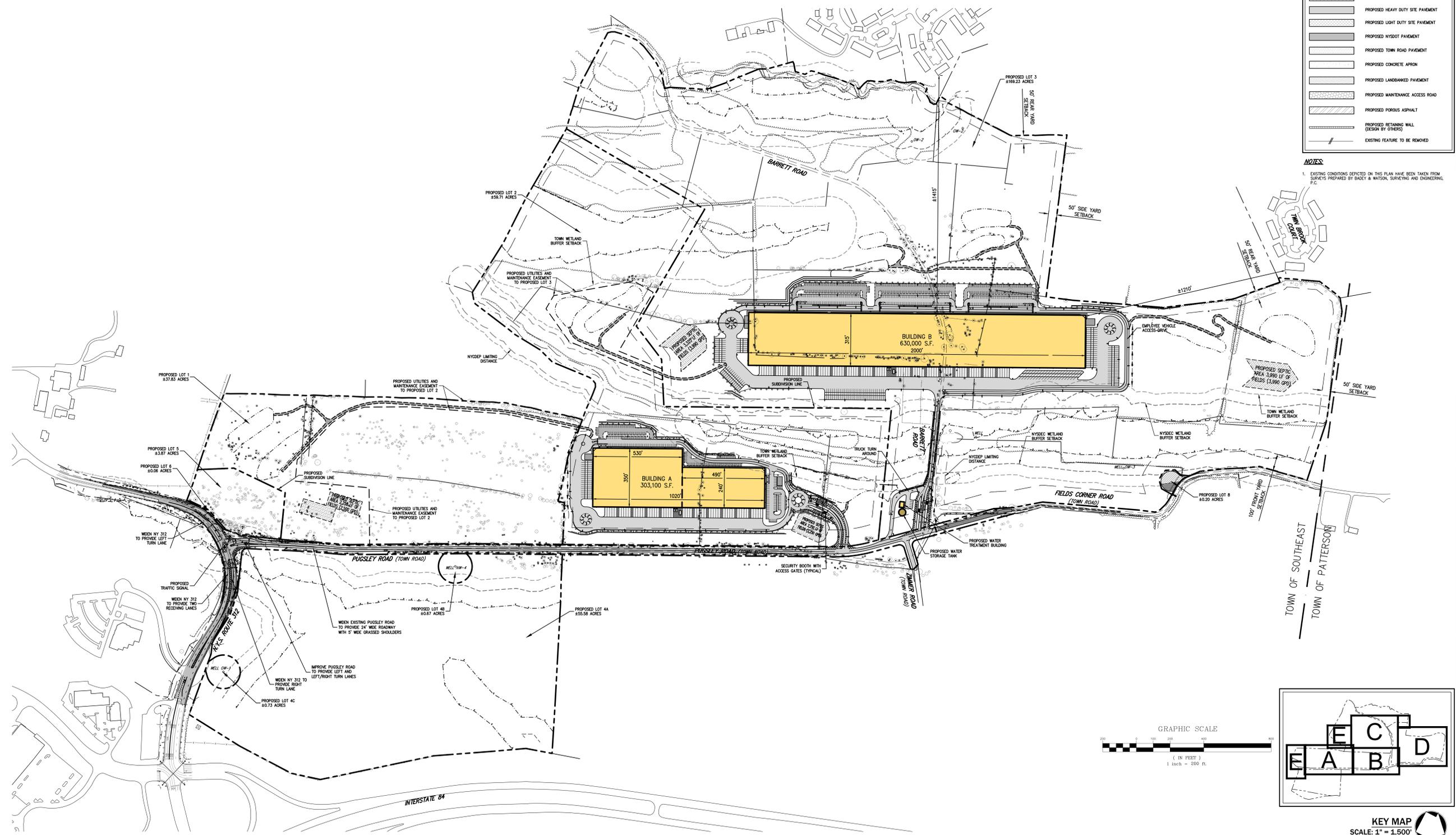
**PARKING AND LOADING TABLE NOTES:**

- THE ANTICIPATED NUMBER OF EMPLOYEES IS BASED ON THE RATIO OF EMPLOYEES TO SQUARE FEET OF FLOOR AREA ON THE MAXIMUM SHIFT PUBLISHED BY ENERGYSTAR.GOV FOR TYPICAL WAREHOUSE SPACE. NEW CONSTRUCTION HIGHLY MECHANIZED WAREHOUSE SPACES TYPICALLY HAVE LOWER EMPLOYEE DENSITIES.
- SEPTIC AREAS HAVE BEEN CONSERVATIVELY SIZED FOR THE POTENTIAL DAILY EMPLOYEE TOTALS UTILIZING THE NYSEC PUBLICATION "NEW YORK STATE DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", DATED MARCH 5, 2014. THE PUBLICATION ALLOWS FOR A 20 PERCENT REDUCTION FROM THE 15 GALLONS PER DAY (GPD) RECOMMENDATION FOR LOW FLOW FIXTURES EQUATING TO A DESIGN FLOW RATE OF 12 GPD PER EMPLOYEE.
  - BUILDING A: 375 EMPLOYEES (4,500 GPD REQUIRED)
  - BUILDING B: 655 EMPLOYEES (7,860 GPD REQUIRED)
  - TOTAL: 1,030 EMPLOYEES

LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING NYSEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYCEP LIMITING DISTANCE
	EXISTING WETLAND LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING PAINT
	PROPOSED BUILDING LINE
	PROPOSED WATER STORAGE TANK LINE
	PROPOSED CURB/EDGE OF PAVEMENT
	PROPOSED TRUCK PARKING SPACES
	PROPOSED TRUCK LOADING SPACES
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES TO BE "LANDBANKED"
	PROPOSED CONCRETE SIDEWALK
	PROPOSED HEAVY DUTY SITE PAVEMENT
	PROPOSED LIGHT DUTY SITE PAVEMENT
	PROPOSED NYSDOT PAVEMENT
	PROPOSED TOWN ROAD PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED LANDBANKED PAVEMENT
	PROPOSED MAINTENANCE ACCESS ROAD
	PROPOSED POROUS ASPHALT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	EXISTING FEATURE TO BE REMOVED

**NOTES:**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BACEY & WATSON, SURVEYING AND ENGINEERING, P.C.



**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 0514

APPLICATION NUMBER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

REVISIONS:

No.	Date	By	Rev.
1.	05/17/2018	KRM	1
2.	05/18/2018	KRM	2
3.	05/07/2019	KRM	3
4.	11/09/2019	KRM	4
5.	09/17/2020	KRM	5

APPLICANT/TOWNER: \_\_\_\_\_  
 DESIGNER: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 APPROVED BY: \_\_\_\_\_

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - WARREN, NY 10564  
 voice 518.273.5243 • fax 518.273.2102  
 www.jmcplc.com

**JMC**

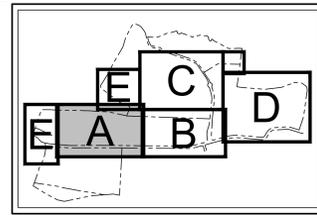
**OVERALL LAYOUT PLAN**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

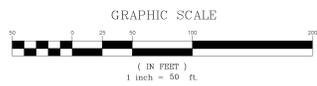
Drawn: KRM Approved: RJP  
 Scale: 1" = 200'  
 Date: 11/06/2017  
 Project No: 14012  
 HES-14012 OVERALL LAY LAYOUT  
 Drawing No: **C-100**

NOT FOR CONSTRUCTION

DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MONUMENT TYPE	MONUMENT HEIGHT	REGULATORY REQUIREMENT
B		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 X
C		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	N1P1-2 X
H		30"x30"	BLACK, GREEN, AND RED ON YELLOW	STEEL CHANNEL	7'-0"	W3-3 X
J		24"x24"	BLACK AND RED ON WHITE	STEEL CHANNEL	7'-0"	RS-2 X



KEY MAP  
SCALE: 1" = 1,500'



LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING NYSDC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING NYSDC LIMITING DISTANCE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING PAINT
	EXISTING UTILITY POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED WATER STORAGE TANK LINE
	PROPOSED SITE CURB
	PROPOSED MOUNTABLE CURB
	PROPOSED FLUSH CURB
	PROPOSED NYSDOT CURB
	PROPOSED SAWCUT LINE
	PROPOSED 24" WIDE WHITE STOP LINE
	PROPOSED 2-4" WIDE YELLOW LINES 8' O.C.
	PROPOSED ARROW MARKING ON PAVEMENT
	PROPOSED WORD MARKING ON PAVEMENT
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED TRUCK PARKING SPACES
	PROPOSED TRUCK LOADING SPACES
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES TO BE LANDSCAPED
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED HEAVY DUTY SITE PAVEMENT
	PROPOSED LIGHT DUTY SITE PAVEMENT
	PROPOSED NYSDOT PAVEMENT
	PROPOSED CONCRETE APRON
	PROPOSED TOWN ROAD PAVEMENT
	PROPOSED LANDSCAPED PAVEMENT
	PROPOSED MAINTENANCE ACCESS ROAD
	PROPOSED POROUS ASPHALT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED GUIDE RAIL
	PROPOSED POLE MOUNTED LIGHTING STANDARD
	PROPOSED WALL MOUNTED LIGHTING STANDARD
	EXISTING FEATURE TO BE REMOVED

NOTES:  
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.



No.	Revision	Date
1.	THIS COMPLETENESS SUBMISSION	05/17/2018
2.	FEE COMPLETENESS SUBMISSION	03/18/2019
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FEE COMMENTS	11/09/2019
5.	REVISED PER NYSDC COMMENTS	09/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
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PHONE: 845.238.5525 - FAX: 845.272.2122  
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LAYOUT PLAN 'A'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

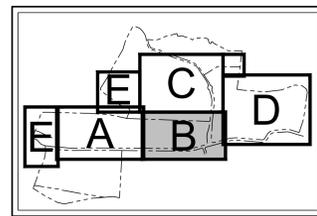
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	R.P.
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet No.:	LAYOUT A		LAYOUT
Sheet Title:	C-101		

NOT FOR CONSTRUCTION

**SIGN TABLE**

DESCRIPTION NUMBER	SIZE	DESCRIPTION	MONUMENT TYPE	MONUMENT HEIGHT	REGULATORY	RECORDED DISPOSITION NUMBER	DESCRIPTION	MONUMENT TYPE	MONUMENT HEIGHT	REGULATORY	RECORDED DISPOSITION NUMBER	DESCRIPTION	MONUMENT TYPE	MONUMENT HEIGHT	REGULATORY	RECORDED DISPOSITION NUMBER
A	30"x30"	STOP	STEEL CHANNEL	7'-0"	R1-1	X	ALL TRUCKS	STEEL CHANNEL	7'-0"	NYS-14 (MODIFIED)	X	STOP	STEEL CHANNEL	7'-0"	R1-1	X
B	12"x18"	ONE WAY	STEEL CHANNEL	7'-0"	R7-8	X	ONE WAY	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M5-4	X	ONE WAY	STEEL CHANNEL	7'-0"	R3-2	X
C	12"x18"	STOP	STEEL CHANNEL	7'-0"	NYP1-2	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-2(R)	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-2(R)	X
D	30"x30"	STOP	STEEL CHANNEL	7'-0"	W1-2	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-2(R)	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-2(R)	X
F	24"x30"	STOP	STEEL CHANNEL	7'-0"	R4-7	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-1(L)	X	STOP	STEEL CHANNEL	7'-0"	R1-2	X
G	18"x30"	STOP	STEEL CHANNEL	7'-0"	R4-7C	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M5-6	X	STOP	STEEL CHANNEL	7'-0"	R6-5P	X
I	30"x30"	STOP	STEEL CHANNEL	7'-0"	W4-1	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M5-4	X	STOP	STEEL CHANNEL	7'-0"	R6-4	X
J	24"x24"	STOP	STEEL CHANNEL	7'-0"	R5-2	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M6-3	X	STOP	STEEL CHANNEL	7'-0"	W2-6	X
K	30"x36"	STOP	STEEL CHANNEL	7'-0"	NYSB-10	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M5-10(R)	X	STOP	STEEL CHANNEL	7'-0"	W12-2	X
M	30"x30"	STOP	STEEL CHANNEL	7'-0"	R5-1	X	STOP	STEEL CHANNEL	7'-0"	NYS-12 (MODIFIED) M5-10(R)	X	STOP	STEEL CHANNEL	7'-0"	W16-2P	X

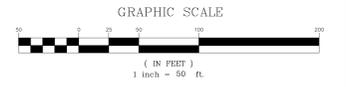
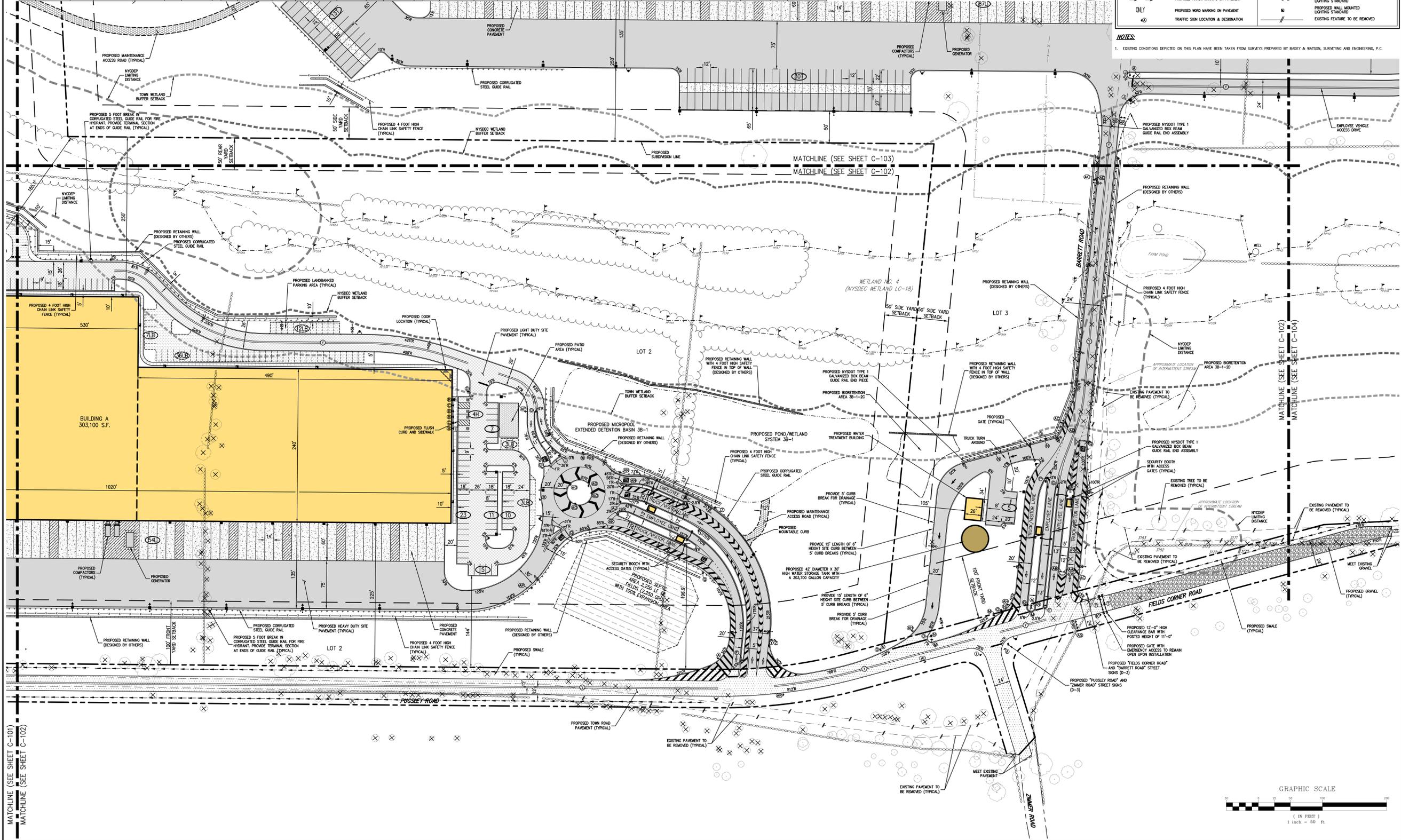


KEY MAP  
SCALE: 1" = 1,500'

**LEGEND**

EXISTING PROPOSED PROPERTY LINE	PROPOSED SUBDIVISION LINE	PROPOSED TRUCK PARKING SPACES
ADJACENT PROPERTY LINE	EXISTING BUILDING SETBACK LINE	PROPOSED TRUCK LOADING SPACES
EXISTING NYSDOT WETLAND BUFFER	EXISTING TOWN WETLAND BUFFER	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
EXISTING NYSDOT LIMITING DISTANCE	EXISTING WETLAND LINE AND DELINEATION	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
EXISTING BUILDING LINE	EXISTING PAVEMENT EDGE	PROPOSED PARKING SPACES TO BE LANDMARKED
EXISTING CURB LINE	EXISTING STONE WALL	PROPOSED CONCRETE SIDEWALK
EXISTING FENCE	EXISTING TREE LINE	PROPOSED MOUNTING CONCRETE SIDEWALK & CURB
EXISTING UTILITY POLE	PROPOSED BUILDING LINE	PROPOSED HEAVY DUTY SITE PAVEMENT
PROPOSED BUILDING LINE	PROPOSED WATER STORAGE TANK LINE	PROPOSED LIGHT DUTY SITE PAVEMENT
PROPOSED SITE CURB	PROPOSED MOUNTABLE CURB	PROPOSED NYSDOT PAVEMENT
PROPOSED FLUSH CURB	PROPOSED SAWCUT LINE	PROPOSED CONCRETE APRON
PROPOSED SAWCUT LINE	PROPOSED 24" WIDE WHITE STOP LINE	PROPOSED TOWN ROAD PAVEMENT
PROPOSED 24" WIDE WHITE STOP LINE	PROPOSED 24" WIDE YELLOW LINES 8" O.C.	PROPOSED LANDBANKED PAVEMENT
PROPOSED ARROW MARKING ON PAVEMENT	PROPOSED WORD MARKING ON PAVEMENT	PROPOSED MAINTENANCE ACCESS ROAD
PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION	EXISTING FEATURE TO BE REMOVED	PROPOSED POROUS ASPHALT
		PROPOSED RETAINING WALL (DESIGN BY OTHERS)
		PROPOSED GUE RAIL
		PROPOSED FENCE
		PROPOSED POLE MOUNTED LIGHTING STANDARD
		PROPOSED WALL MOUNTED LIGHTING STANDARD
		EXISTING FEATURE TO BE REMOVED

**NOTES**  
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.



No.	REVISION	DATE	BY	CHK
1.	THIS COMPLETENESS SUBMISSION	05/17/2018	KSM	RJP
2.	THIS COMPLETENESS SUBMISSION	05/18/2018	KSM	RJP
3.	REVISED PER TOWN COMMENTS	05/07/2019	KSM	RJP
4.	REVISED PER TOWN COMMENTS	11/09/2019	KSM	RJP
5.	REVISED PER NYSDOT COMMENTS	09/17/2020	KSM	RJP

**PUTNAM SEABURY PARTNERS, L.P.**  
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**LAYOUT PLAN 'B'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

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Drawn	KSM	Approved	RJP
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
RED-LAYER	LAYOUT B	LAYOUT	
Sheet No.	C-102		

NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-101)

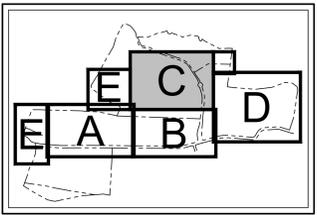
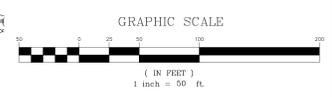
MATCHLINE (SEE SHEET C-102)

**LEGEND**

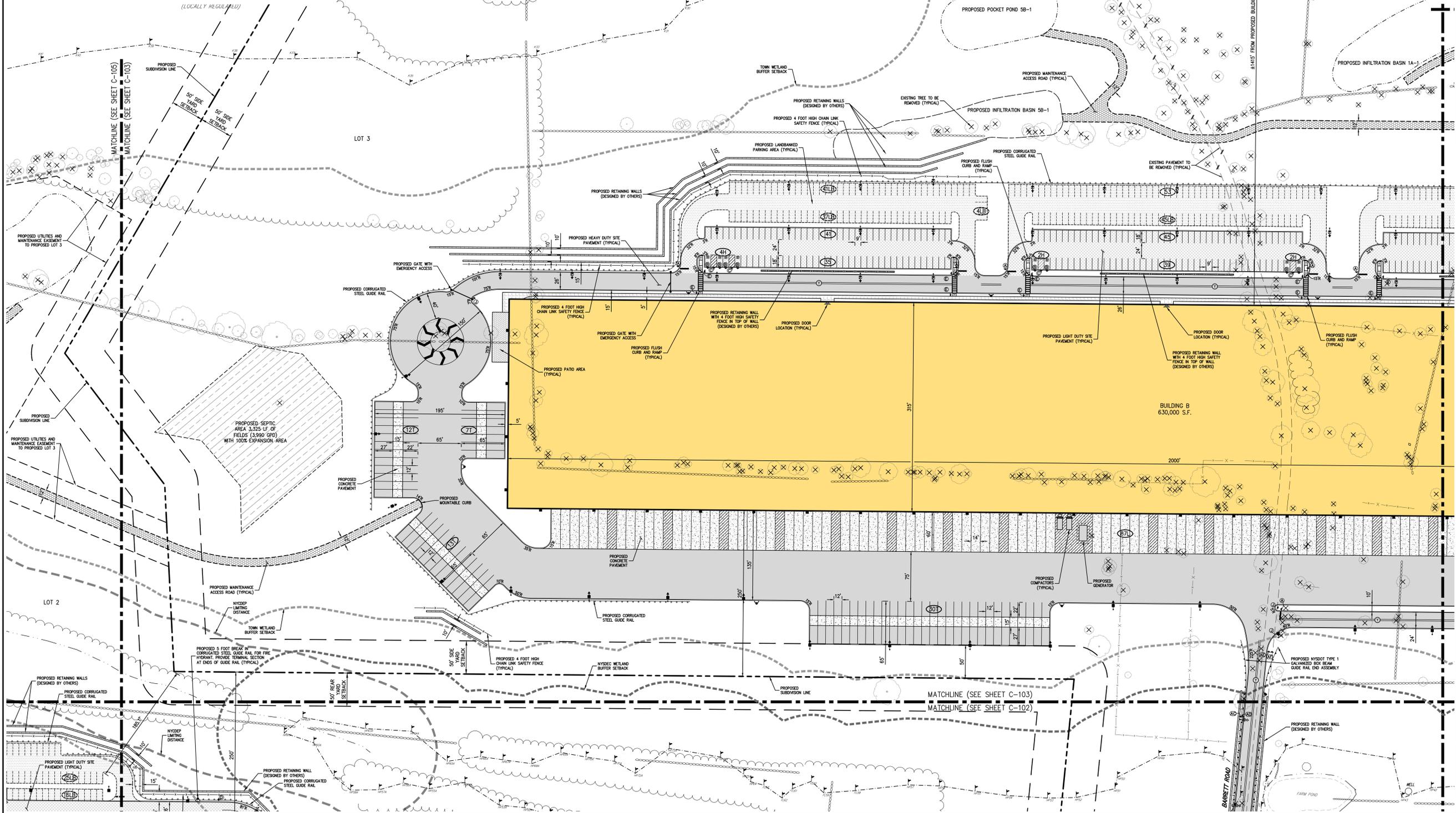
[Symbol]	EXISTING/PROPOSED PROPERTY LINE	[Symbol]	PROPOSED TRUCK PARKING SPACES
[Symbol]	PROPOSED SUBDIVISION LINE	[Symbol]	PROPOSED TRUCK LOADING SPACES
[Symbol]	ADJACENT PROPERTY LINE	[Symbol]	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBERS OF SPACES INDICATED (REFER TO STRIPING DETAILS)
[Symbol]	EXISTING BUILDING SETBACK BUFFER	[Symbol]	PROPOSED PARKING SPACES WITH NUMBERS OF SPACES INDICATED (REFER TO STRIPING DETAILS)
[Symbol]	EXISTING NYSDC WETLAND BUFFER	[Symbol]	PROPOSED PARKING SPACES TO BE "LANDMARKED"
[Symbol]	EXISTING TOWN WETLAND BUFFER	[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	EXISTING NYSDC LIMITING DISTANCE	[Symbol]	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
[Symbol]	EXISTING WETLAND LINE AND DELINEATION	[Symbol]	PROPOSED HEAVY DUTY SITE PAVEMENT
[Symbol]	EXISTING BUILDING LINE	[Symbol]	PROPOSED LIGHT DUTY SITE PAVEMENT
[Symbol]	EXISTING CURB LINE	[Symbol]	PROPOSED NYSDOT PAVEMENT
[Symbol]	EXISTING STONE WALL	[Symbol]	PROPOSED CONCRETE APRON
[Symbol]	EXISTING FENCE	[Symbol]	PROPOSED TOWN ROAD PAVEMENT
[Symbol]	EXISTING TREE LINE	[Symbol]	PROPOSED LANDBANKED PAVEMENT
[Symbol]	EXISTING PAINT	[Symbol]	PROPOSED MAINTENANCE ACCESS ROAD
[Symbol]	EXISTING UTILITY POLE	[Symbol]	PROPOSED POROUS ASPHALT
[Symbol]	EXISTING SIGN	[Symbol]	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
[Symbol]	PROPOSED BUILDING LINE	[Symbol]	PROPOSED GUE RAIL
[Symbol]	PROPOSED WATER STORAGE TANK LINE	[Symbol]	PROPOSED FENCE
[Symbol]	PROPOSED SITE CURB	[Symbol]	PROPOSED POLE MOUNTED LIGHTING STANDARD
[Symbol]	PROPOSED MOUNTABLE CURB	[Symbol]	PROPOSED WALL MOUNTED LIGHTING STANDARD
[Symbol]	PROPOSED FLUSH CURB	[Symbol]	EXISTING FEATURE TO BE REMOVED
[Symbol]	PROPOSED NYSDOT CURB	[Symbol]	
[Symbol]	PROPOSED SAWCUT LINE	[Symbol]	
[Symbol]	PROPOSED 24" WIDE WHITE STOP LINE	[Symbol]	
[Symbol]	PROPOSED 3-4" WIDE YELLOW LINES P.O.C.	[Symbol]	
[Symbol]	PROPOSED ARROW MARKING ON PAVEMENT	[Symbol]	
[Symbol]	PROPOSED WORD MARKING ON PAVEMENT	[Symbol]	
[Symbol]	PROPOSED TRAFFIC SIGN LOCATION & DESIGNATION	[Symbol]	

**SIGN TABLE**

DESIGNATION NUMBER	SYMBOL	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REFERENCE	REFLECTORIZED DESIGNATION NUMBER	SYMBOL	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY REFERENCE	
A	[STOP SIGN]	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X	J	[NO LEFT TURN SIGN]	24"x24"	BLACK AND RED ON WHITE	STEEL CHANNEL	7'-0"	RS-2
B	[AHEAD OF TRUCK SIGN]	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X	AC	[NO RIGHT TURN SIGN]	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYRS-12 (MODIFIED)
C	[AHEAD OF TRUCK SIGN]	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2	X	AD	[WHITE ONLY LEFT TURN SIGN]	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYRS-12 (MODIFIED)
D	[PEDESTRIAN CROSSING SIGN]	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2	X	AE	[ALL MOVER CARS SIGN]	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	NYRS-12 (MODIFIED)
E	[PEDESTRIAN CROSSING SIGN]	24"x12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W6-7P(1)	X	AF	[ALL MOVER CARS SIGN]	21"x15"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	M6-1(R)



**NOTES:**  
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAEY & WATSON, SURVEYING AND ENGINEERING, P.C.



By	JKM	Approved	RJP
Date	05/17/2018		
Revision	1. THIS COMPLETENESS SUBMISSION		
	05/18/2018		
	2. FEES COMPLETENESS SUBMISSION		
	05/07/2019		
	3. REVISED PER TOWN COMMENTS		
	11/09/2019		
	4. REVISED PER FEES COMMENTS		
	09/17/2020		
	5. REVISED PER NYSDC COMMENTS		

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CHAPPAQUA, NY 0514

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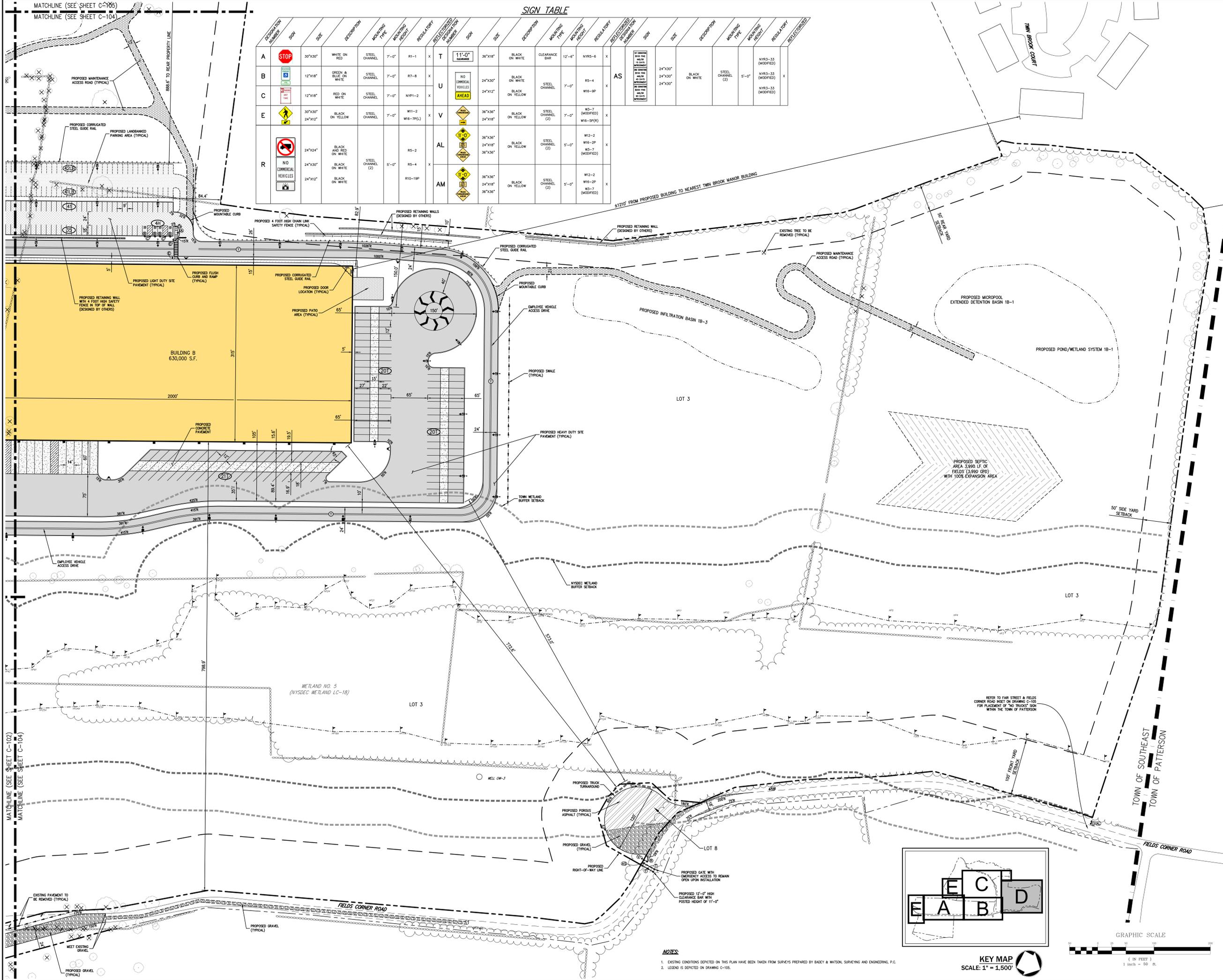
**LAYOUT PLAN 'C'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn	JKM	Approved	RJP
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
NOI-LAYER	LAYOUT C	LAYER	
Drawing No.			

**C-103**

NOT FOR CONSTRUCTION



### SIGN TABLE

DESCRIPTION NUMBER	SHOW	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED DESCRIPTION NUMBER	SHOW	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED DESCRIPTION NUMBER
A		30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X	T	11'-0" SQUARE	36"x18"	BLACK ON WHITE	CLEARANCE BAR	12'-6"	NYRS-6
B		12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X	U	NO COMMERCIAL VEHICLES AHEAD	24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	AS
C		12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYR1-2	X	V	NO COMMERCIAL VEHICLES AHEAD	24"x12"	BLACK ON YELLOW	STEEL CHANNEL (2)	7'-0"	W6-9P
E		30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2	X	V	NO COMMERCIAL VEHICLES AHEAD	24"x12"	BLACK ON YELLOW	STEEL CHANNEL (2)	7'-0"	W3-7 (MODIFIED)
R		24"x24"	BLACK AND RED ON WHITE	STEEL CHANNEL (2)	5'-0"	R5-2	X	AL	NO COMMERCIAL VEHICLES AHEAD	36"x36"	BLACK ON YELLOW	STEEL CHANNEL (2)	5'-0"	W6-2P
		24"x30"	BLACK ON WHITE	STEEL CHANNEL (2)	5'-0"	R5-4	X	AM	NO COMMERCIAL VEHICLES AHEAD	24"x18"	BLACK ON YELLOW	STEEL CHANNEL (2)	5'-0"	W3-7 (MODIFIED)
		24"x12"	BLACK ON WHITE	STEEL CHANNEL (2)	5'-0"	R10-19P	X	AM	NO COMMERCIAL VEHICLES AHEAD	36"x36"	BLACK ON YELLOW	STEEL CHANNEL (2)	5'-0"	W12-2P

Matchline (See Sheet C-104)
Matchline (See Sheet C-106)

PROPOSED MAINTENANCE ACCESS ROAD (TYPICAL)

PROPOSED CORRUGATED STEEL GUIDE RAIL

PROPOSED LANDSCAPED PARKING AREA (TYPICAL)

PROPOSED MOUNTABLE CURB

PROPOSED 4 FOOT HIGH CHAIN LINK SAFETY FENCE (TYPICAL)

PROPOSED RETAINING WALLS (DESIGNED BY OTHERS)

PROPOSED CORRUGATED STEEL GUIDE RAIL

PROPOSED MOUNTABLE CURB

PROPOSED RETAINING WALL (DESIGNED BY OTHERS)

EXISTING TREE TO BE REMOVED (TYPICAL)

PROPOSED LIGHT DUTY SITE PAVEMENT (TYPICAL)

PROPOSED FLUSH CURB AND RAMP

PROPOSED DOOR LOCATION (TYPICAL)

PROPOSED PAVEMENT AREA (TYPICAL)

PROPOSED RETAINING WALL WITH 4 FOOT HIGH SAFETY FENCE IN TOP OF WALL (DESIGNED BY OTHERS)

PROPOSED HEAVY DUTY SITE PAVEMENT (TYPICAL)

PROPOSED SHALE (TYPICAL)

PROPOSED TRUCK TURNAROUND

PROPOSED POROUS ASPHALT (TYPICAL)

PROPOSED GRAVEL (TYPICAL)

PROPOSED RIGHT-OF-WAY LINE

PROPOSED GATE WITH EMERGENCY ACCESS TO REMAIN OPEN UPON INSTALLATION

PROPOSED 12'-0" HIGH CLEARANCE BAR WITH POSTED HEIGHT OF 11'-0"

PROPOSED INFILTRATION BASIN 1B-3

PROPOSED POND/WETLAND SYSTEM 1B-1

PROPOSED MICROPOD EXTENDED DETENTION BASIN 1B-1

PROPOSED SEPTIC AREA 3,990 GPD WITH 100% EXPANSION AREA

PROPOSED WETLAND BUFFER SETBACK

PROPOSED 50' SIDE YARD SETBACK

PROPOSED 100' FRONT YARD SETBACK

REFER TO FAIR STREET & FIELDS CORNER ROAD NOTES ON DRAWING C-105 FOR PLACEMENT OF "NO TRUCKS" SIGN WITHIN THE TOWN OF PATTERSON

LOT 3

LOT 8

WETLAND NO. 5 (NYSDEC WETLAND LC-18)

WETLAND BUFFER SETBACK

50' SIDE YARD SETBACK

100' FRONT YARD SETBACK

PROPOSED 12'-0" HIGH CLEARANCE BAR WITH POSTED HEIGHT OF 11'-0"

FIELD CORNER ROAD

TOWN OF SOUTHEAST

TOWN OF PATTERSON

KEY MAP

SCALE: 1" = 1,500'

GRAPHIC SCALE

( IN FEET )

1 inch = 50 ft.

NOT FOR CONSTRUCTION

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
- LEGEND IS DEPICTED ON DRAWING C-105.

REVISIONS:

No.	Date	BY	CHKD	APP'D	DESCRIPTION
1.	05/17/2018	KSM			THIS COMPLETENESS SUBMISSION
2.	05/18/2018	KSM			FEES COMPLETENESS SUBMISSION
3.	05/07/2019	KSM			REVISED PER TOWN COMMENTS
4.	11/09/2019	KSM			REVISED PER FEES COMMENTS
5.	09/17/2020	KSM			REVISED PER NYDEC COMMENTS

APPLICANT/OWNER: PUTNAM SEABURY PARTNERS, L.P.  
287 KING STREET  
CHAPPAQUA, NY 0514

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JMC

LAYOUT PLAN 'D'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn	Checked	Approved	R.P.
KSM			

Scale: 1" = 50'

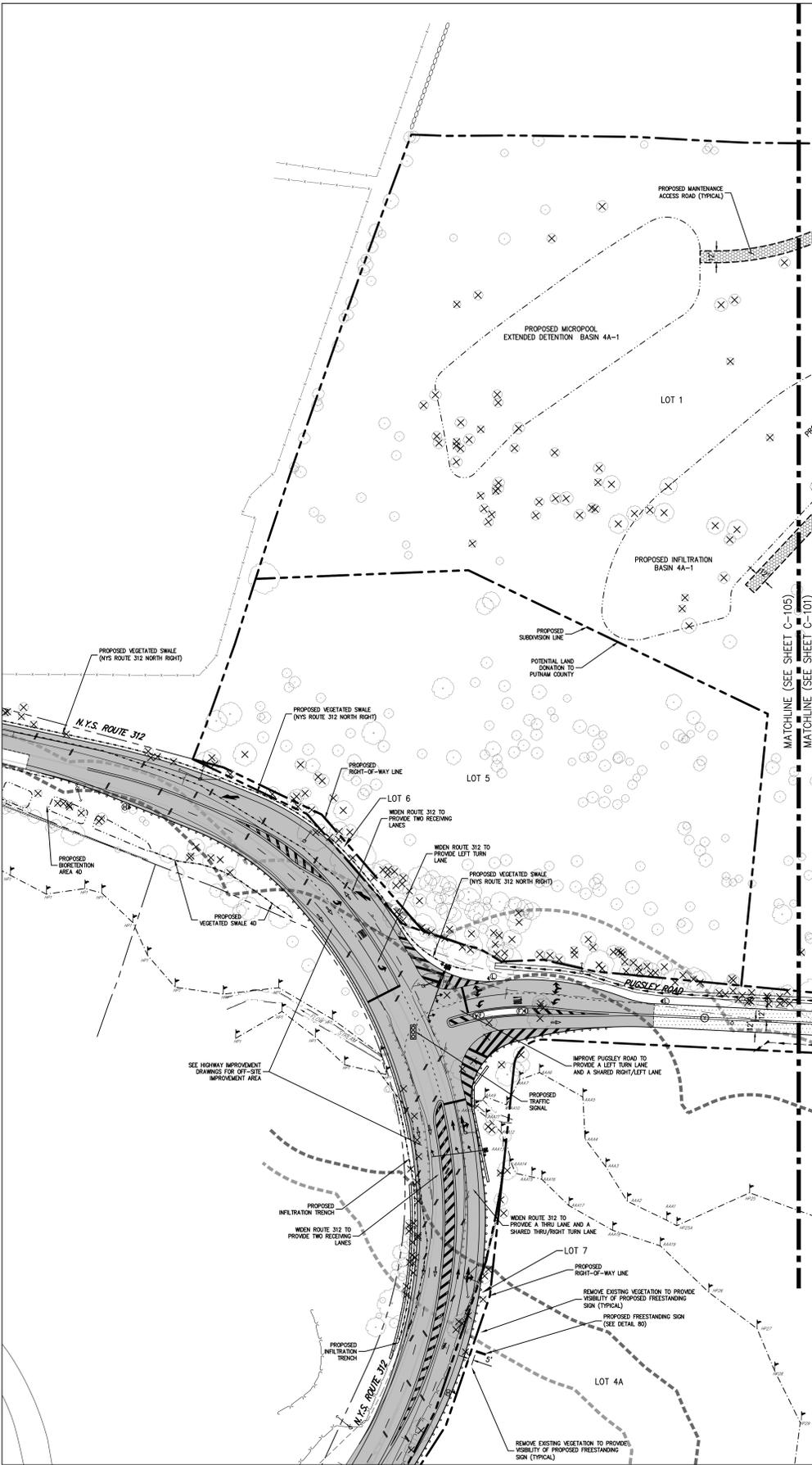
Date: 11/06/2017

Project No: 14012

Sheet No: LAYOUT D

Sheet No: LAYOUT

Sheet No: C-104

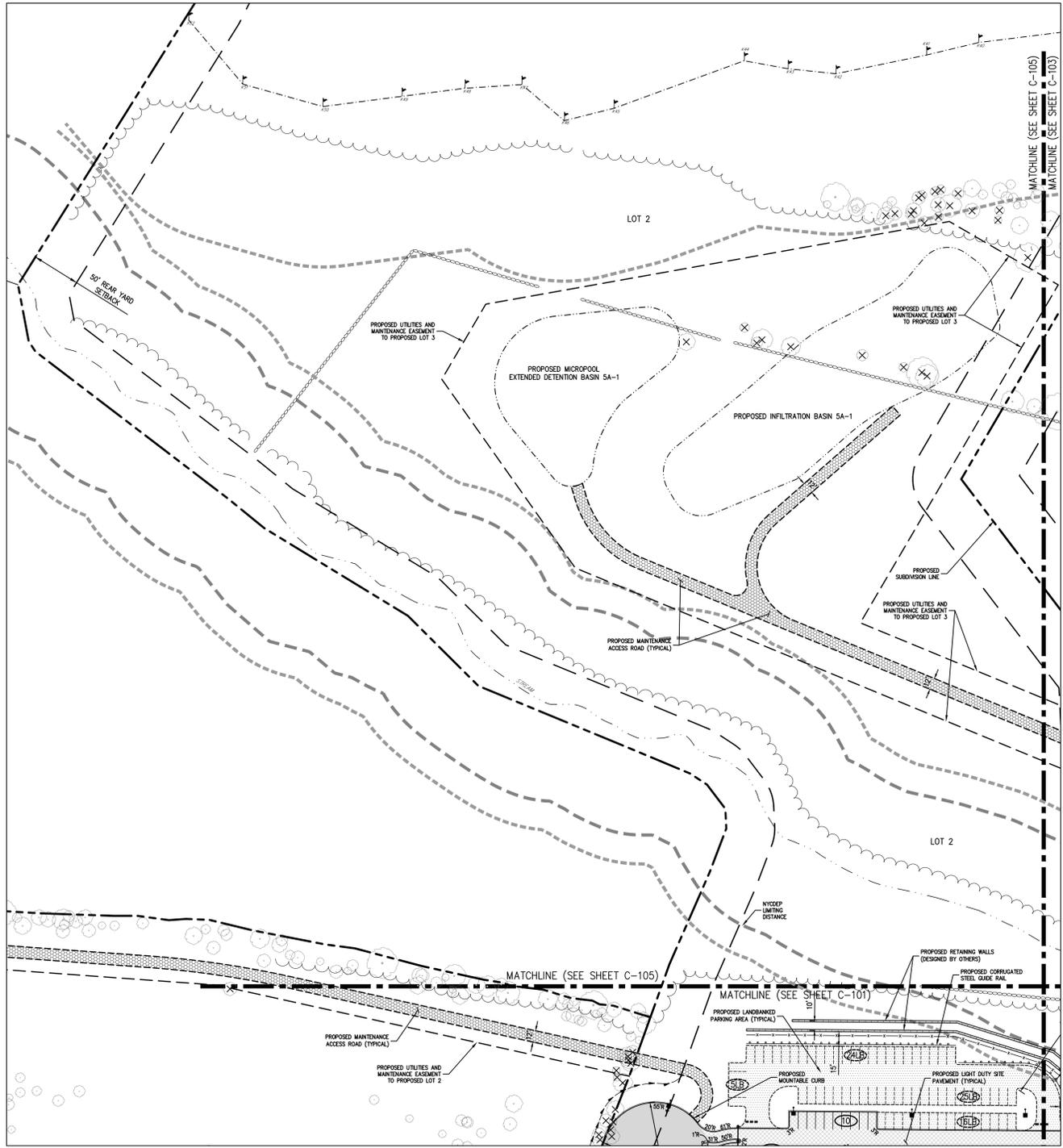
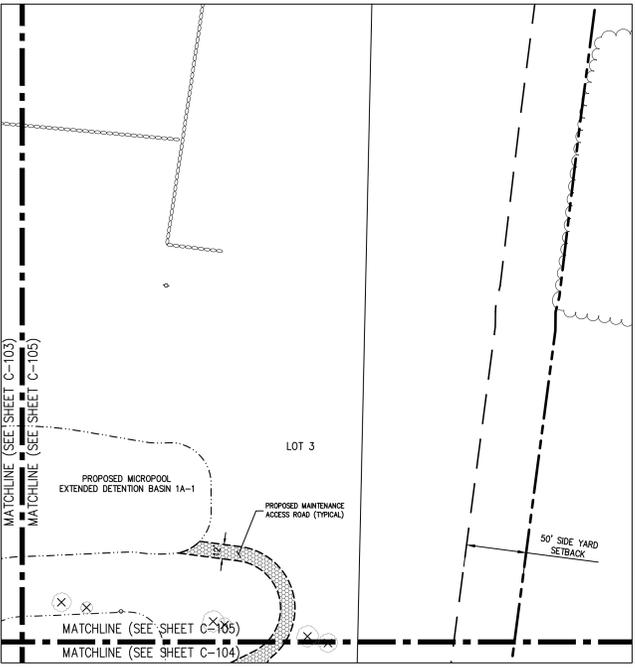
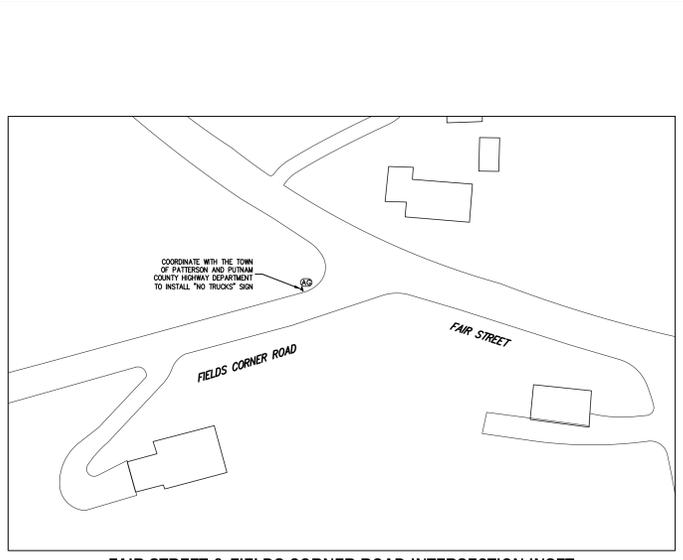


**LEGEND**

- EXISTING/PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING NYSDOT WETLAND BUFFER
- EXISTING TOWN WETLAND BUFFER
- EXISTING NYSDOT LIMITING DISTANCE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE LINE
- EXISTING PAINT
- EXISTING UTILITY POLE
- EXISTING SIGN
- PROPOSED BUILDING LINE
- PROPOSED WATER STORAGE TANK LINE
- PROPOSED SITE CURB
- PROPOSED MOUNTABLE CURB
- PROPOSED FLUSH CURB
- PROPOSED NYSDOT CURB
- PROPOSED SAWKUT LINE
- PROPOSED 24" WIDE WHITE STOP LINE
- PROPOSED 2"-4" WIDE YELLOW LINES 4" O.C.
- PROPOSED ARROW MARKING ON PAVEMENT
- PROPOSED WORD MARKING ON PAVEMENT
- PROPOSED TRUCK PARKING SPACES
- PROPOSED TRUCK LOADING SPACES
- PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
- PROPOSED PARKING SPACES TO BE "LANDBANKED"
- PROPOSED CONCRETE SIDEWALK
- PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
- PROPOSED HEAVY DUTY SITE PAVEMENT
- PROPOSED LIGHT DUTY SITE PAVEMENT
- PROPOSED NYSDOT PAVEMENT
- PROPOSED CONCRETE APRON
- PROPOSED TOWN ROAD PAVEMENT
- PROPOSED LANDBANKED PAVEMENT
- PROPOSED MAINTENANCE ACCESS ROAD
- PROPOSED POROUS ASPHALT
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED SIDE HILL
- PROPOSED FENCE
- PROPOSED POLE MOUNTED LIGHTING STANDARD
- PROPOSED WALL MOUNTED LIGHTING STANDARD
- TRAFFIC SIGN LOCATION & DESIGNATION
- EXISTING FEATURE TO BE REMOVED

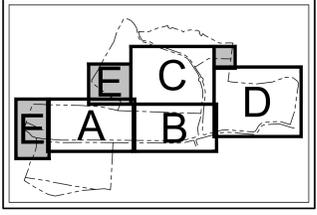
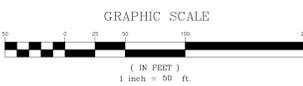
**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.



**SIGN TABLE**

DESCRIPTION NUMBER	SYMBOL	SIZE	DESCRIPTION	MARKING TYPE	MARKING WIDTH	REG. AUTH.	REF. DETAIL
F		24"x30"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-7	X
H		30"x30"	BLACK, GREEN, AND RED ON YELLOW	STEEL CHANNEL	7'-0"	W3-3	X
L		30"x42"	BLACK ON WHITE	STEEL CHANNEL	7'-0"	R4-5 (MODIFIED)	X
AG		24"x24"	BLACK AND RED ON WHITE	STEEL CHANNEL	7'-0"	R5-2	X
		24"x8"	BLACK AND RED ON WHITE	STEEL CHANNEL	NY107-13P		X



**REVISIONS**

No.	Date	By	Rev.
1.	05/17/2018	KSM	DESIGN SUBMISSION
2.	05/18/2018	KSM	DESIGN SUBMISSION
3.	05/07/2019	KSM	REVISED PER TOWN COMMENTS
4.	11/09/2019	KSM	REVISED PER TOWN COMMENTS
5.	09/17/2020	KSM	REVISED PER NYSDOT COMMENTS

**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

**JMC**  
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Myers Consulting, Inc.  
 120 BEAUFORT ROAD - ARBONIA, NY 10584  
 VOICE: 847.835.5243 - FAX: 847.872.8782  
 www.jmcinc.com



**LAYOUT PLAN 'E'**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

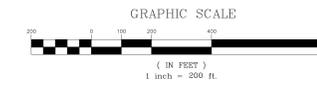
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KSM Approved: RJP  
 Scale: 1" = 50'  
 Date: 11/06/2017  
 Project No: 14012  
 SHEET: LAYOUT E OF LAYOUT  
 Drawing No: **C-105**

NOT FOR CONSTRUCTION

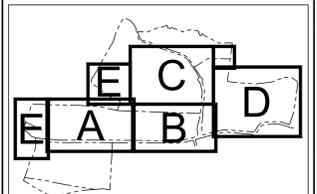
NOT FOR CONSTRUCTION

DATE PLOTTED: 11/06/2017 10:53:44 AM  
PROJECT: COMMERCIAL CAMPUS AT FIELDS CORNER  
DRAWN BY: JMC  
CHECKED BY: JMC  
DATE: 11/06/2017



LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE
	EXISTING WYSEDED WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING WYSEDED LIMITING DISTANCE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE/CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING UTILITY POLE
	EXISTING BUILDING LINE
	PROPOSED WATER STORAGE TANK LINE
	PROPOSED EDGE OF PAVEMENT/CURB LINE
	PROPOSED LANDBANKED PARKING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED RETAINING WALL (SHOWN BY OTHERS)
	EXISTING FEATURE TO BE REMOVED

**NOTES:**  
 1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BUCKY & MATSON, SURVEYING AND ENGINEERING, P.C.



KEY MAP  
SCALE: 1" = 1,500'

No.	Revisions	Date	By	App.
1.	DES. COMPLETENESS SUBMISSION	05/17/2018	KJM	
2.	FEES COMPLETENESS SUBMISSION	03/18/2019	KJM	
3.	REVISED PER TOWN COMMENTS	05/07/2019	KJM	
4.	REVISED PER FEES COMMENTS	11/09/2019	KJM	
5.	REVISED PER TOWN COMMENTS	05/17/2020	KJM	
6.	REVISED PER WYSEDED COMMENTS	05/17/2020	KJM	

APPLICATION OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - ARMONK, NY 10504  
 voice 914.233.5243 • fax 914.273.2192  
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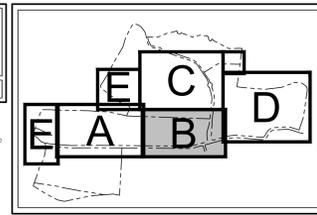
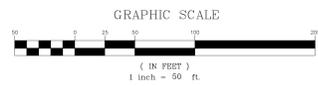
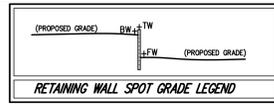


**OVERALL GRADING PLAN**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KJM	Approved	RJP
Scale	1" = 200'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	OVERALL GRD	2,204	of 2,204
Sheet Title	C-200		

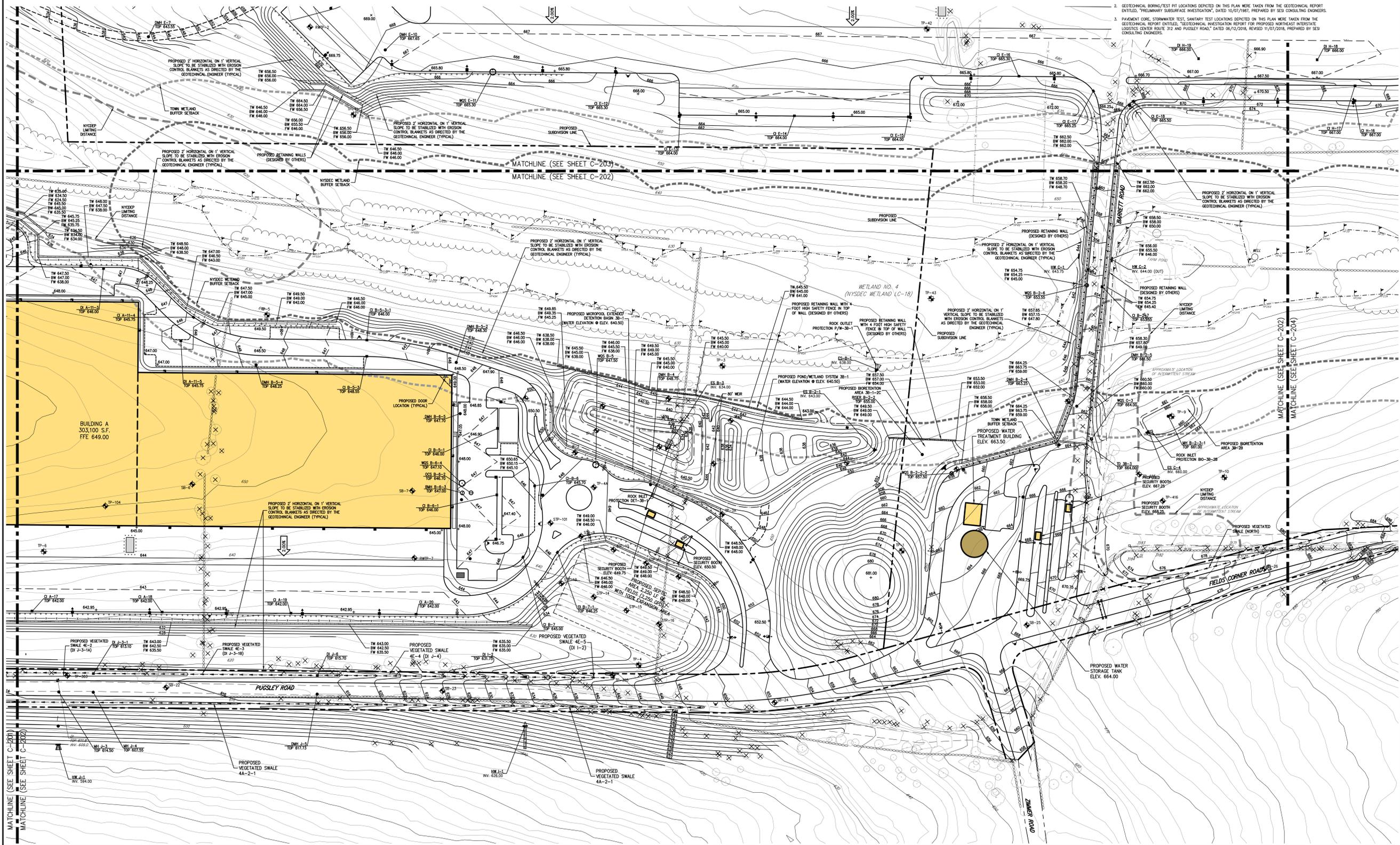




KEY MAP  
SCALE: 1" = 1,500'

LEGEND			
---	EXISTING PROPOSED PROPERTY LINE	---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED SUBDIVISION LINE	---	PROPOSED DROP CURB AND RAMP
---	ADJACENT PROPERTY LINE	---	PROPOSED FINISHED GRADE
---	EXISTING METLAND LINE AND DELINEATION	---	PROPOSED SPOT GRADE
---	EXISTING NYSED METLAND BUFFER	---	PROPOSED STORM DRAIN MANHOLE
---	EXISTING TOWN METLAND BUFFER	---	PROPOSED TYPE CI DRAIN INLET
---	EXISTING NYSED LIMITING DISTANCE	---	PROPOSED TYPE DI DRAIN INLET
---	EXISTING BUILDING LINE	---	PROPOSED RPP-RAP
---	EXISTING PAVEMENT EDGE/CURB LINE	---	PROPOSED HEADWALL
---	EXISTING INDEX CONTOUR	---	PROPOSED HYDRANT
---	EXISTING STONE WALL	---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	EXISTING GUIDE RAIL	---	PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
---	EXISTING FENCE	---	BORING LOCATION AND DESIGNATION
---	EXISTING UTILITY POLE	---	EXISTING FEATURE TO BE REMOVED
---	PROPOSED BUILDING LINE	---	BORING LOCATION AND DESIGNATION FROM 2018
---	PROPOSED WATER STORAGE TANK LINE	---	SANITARY TEST LOCATION/DESIGNATION FROM 2018
---	PROPOSED EDGE OF PAVEMENT/CURB LINE	---	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
---	PROPOSED LANDMARKED PARKING	---	
---	TEST PIT LOCATION/DESIGNATION FROM 1987		
---	BORING LOCATION/DESIGNATION FROM 1987		
---	STORMWATER TEST TO LOCATION/DESIGNATION FROM 2019		
---	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018		

- NOTES**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION," DATED 10/07/1987, PREPARED BY SCS CONSULTING ENGINEERS.
  - PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS SHOWN ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER PHASE 3/2 AND PROJECT ROAD," DATED 06/12/2018, REVISED 11/03/2018, PREPARED BY SCS CONSULTING ENGINEERS.



Rev.	Date	By	Check	Reason
1	05/17/2018	KJM	KJM	ISSUE FOR PERMITS
2	03/19/2019	KJM	KJM	ISSUE FOR PERMITS
3	05/07/2019	KJM	KJM	REVISED PER TOWN COMMENTS
4	11/09/2019	KJM	KJM	REVISED PER PERMITS COMMENTS
5	06/17/2020	KJM	KJM	REVISED PER NYSED COMMENTS

APPLICANT: PUTNAM SEABURY PARTNERS, L.P.  
287 KING STREET  
CHAPPAQUA, NY 0514



GRADING PLAN 'B'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KJM	Approved	R.P.
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	GRADING B	2	2
Sheet Title	GRADING B		

NOT FOR CONSTRUCTION

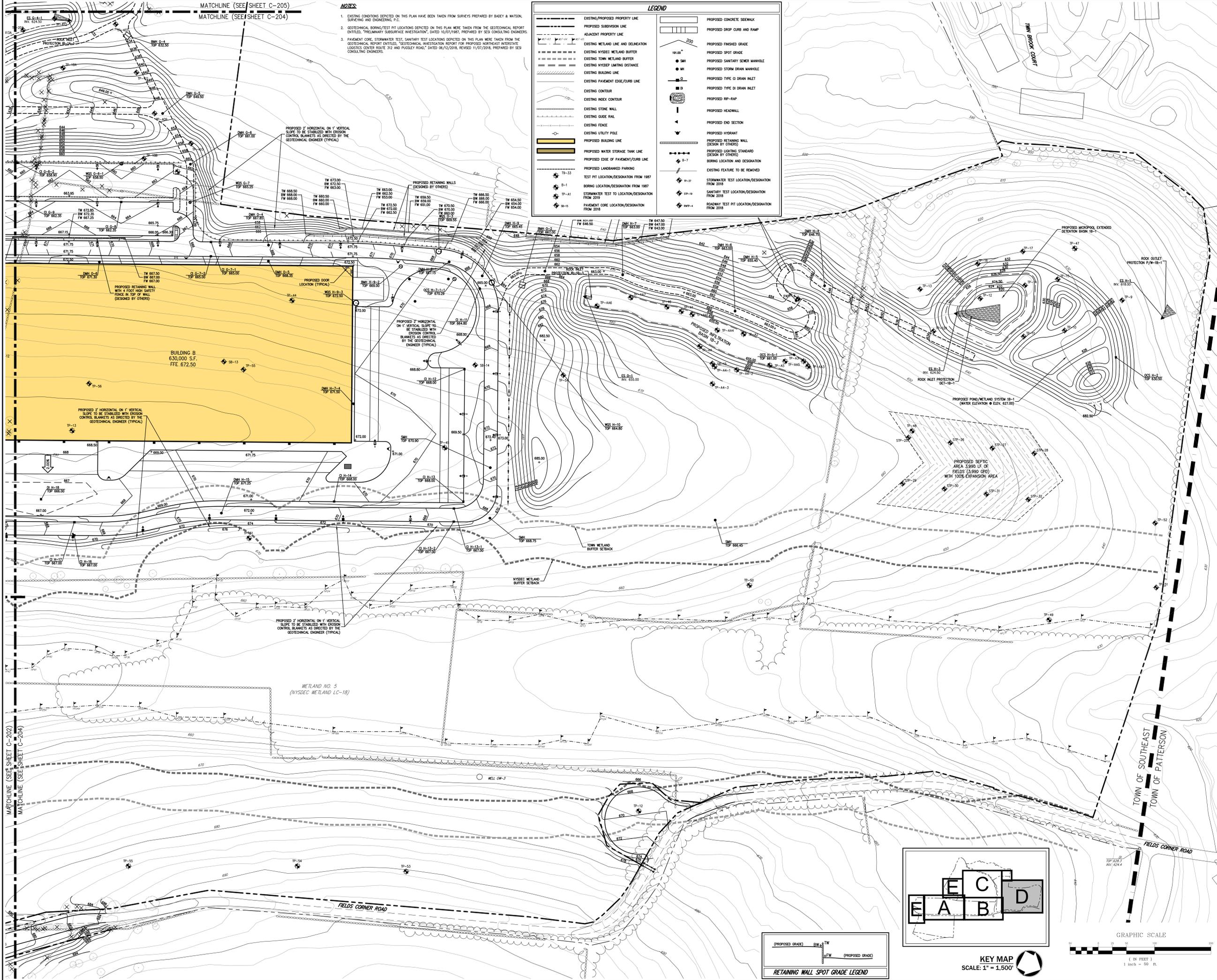


MATCHLINE (SEE SHEET C-205)  
MATCHLINE (SEE SHEET C-204)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
  - PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED HORTICULTURE INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUSSEY ROAD", DATED 06/12/2018, REVISED 11/07/2018, PREPARED BY SES CONSULTING ENGINEERS.

**LEGEND**

EXISTING/PROPOSED PROPERTY LINE	PROPOSED CONCRETE SIDEWALK
PROPOSED SUBDIVISION LINE	PROPOSED DROP CURB AND RAMP
ADJACENT PROPERTY LINE	PROPOSED FINISHED GRADE
EXISTING METLAND LINE AND DELINEATION	PROPOSED SPOT GRADE
EXISTING NYSED METLAND BUFFER	PROPOSED SANITARY SEWER MANHOLE
EXISTING TOWN METLAND BUFFER	PROPOSED STORM DRAIN MANHOLE
EXISTING HYDROE LIMITING DISTANCE	PROPOSED TYPE G DRAIN INLET
EXISTING BUILDING LINE	PROPOSED TYPE G DRAIN INLET
EXISTING PAVEMENT EDGE/CURB LINE	PROPOSED RSP-RAP
EXISTING CONTOUR	PROPOSED HEADWALL
EXISTING INDEX CONTOUR	PROPOSED END SECTION
EXISTING STONE WALL	PROPOSED HYDRANT
EXISTING GUIDE RAIL	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
EXISTING FENCE	PROPOSED DRAINAGE STANDARD (DESIGN BY OTHERS)
EXISTING UTILITY POLE	BORING LOCATION AND DESIGNATION
PROPOSED BUILDING LINE	EXISTING FEATURE TO BE REMOVED
PROPOSED WATER STORAGE TANK LINE	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
PROPOSED EDGE OF PAVEMENT/CURB LINE	SANITARY TEST LOCATION/DESIGNATION FROM 2018
PROPOSED LANDBANKED PARKING	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018
TEST PIT LOCATION/DESIGNATION FROM 1987 (DESIGNATED BY OTHERS)	
BORING LOCATION/DESIGNATION FROM 1987	
STORMWATER TEST TO LOCATION/DESIGNATION FROM 2019	
PAVEMENT CORE LOCATION/DESIGNATION FROM 2018	



Rev.	Date	By	Appr.
1.	05/17/2018	KSM	R.P.
2.	03/18/2019	KSM	
3.	05/07/2019	KSM	
4.	05/07/2019	KSM	
5.	05/17/2020	KSM	

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
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120 BEAUFORT ROAD - ARMONK, NY 10504  
VOICE 914.233.5525 - FAX 914.273.2192  
www.jmcplc.com



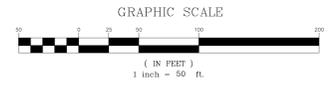
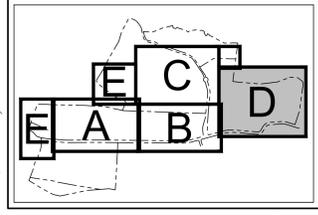
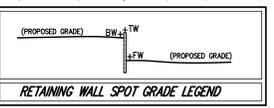
**GRADING PLAN 'D'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

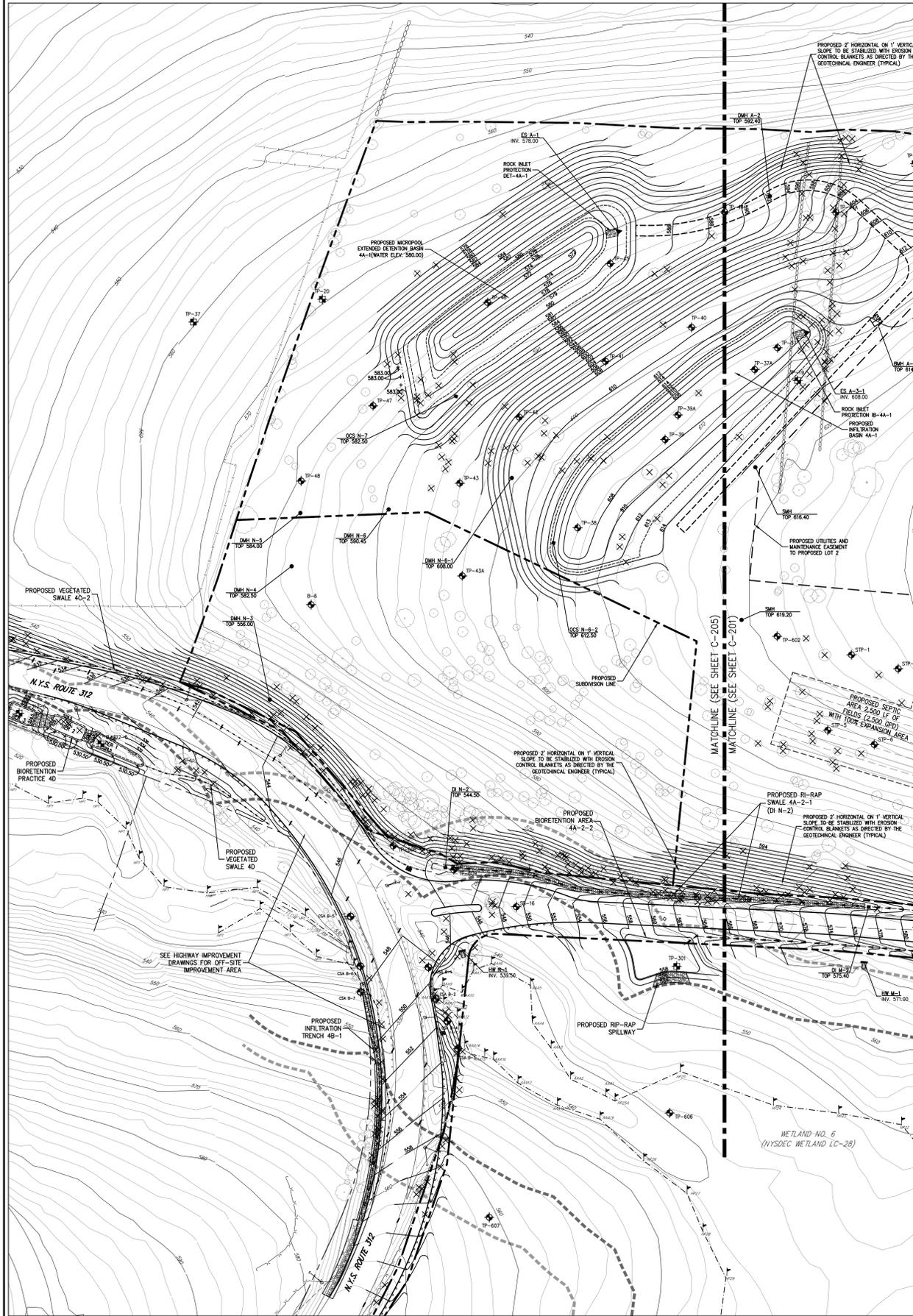
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KSM Approved: R.P.  
Scale: 1" = 50'  
Date: 11/06/2017  
Project No: 14012  
NO-06 GRADING 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100  
Drawing No: **C-204**

NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-202)  
MATCHLINE (SEE SHEET C-204)

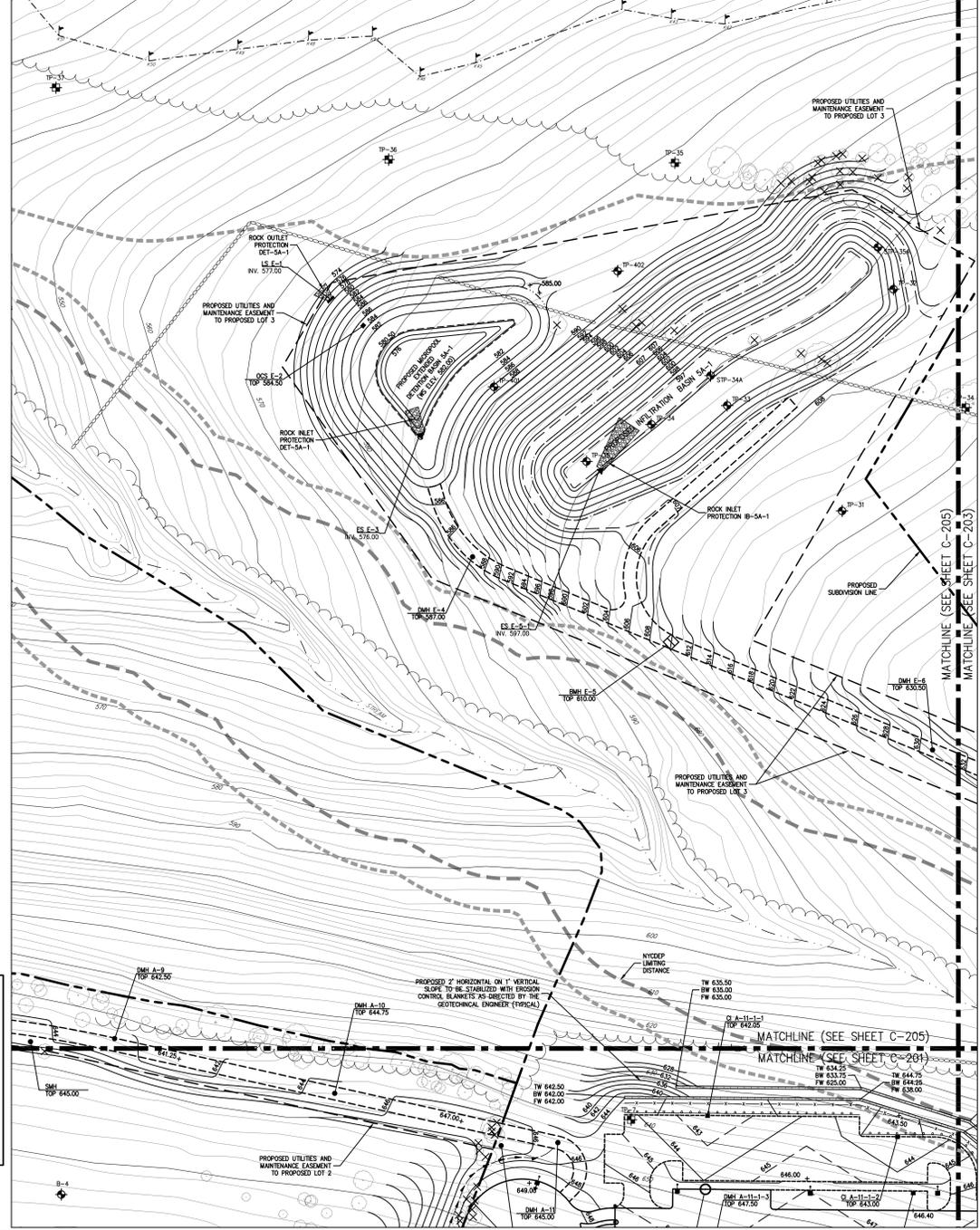
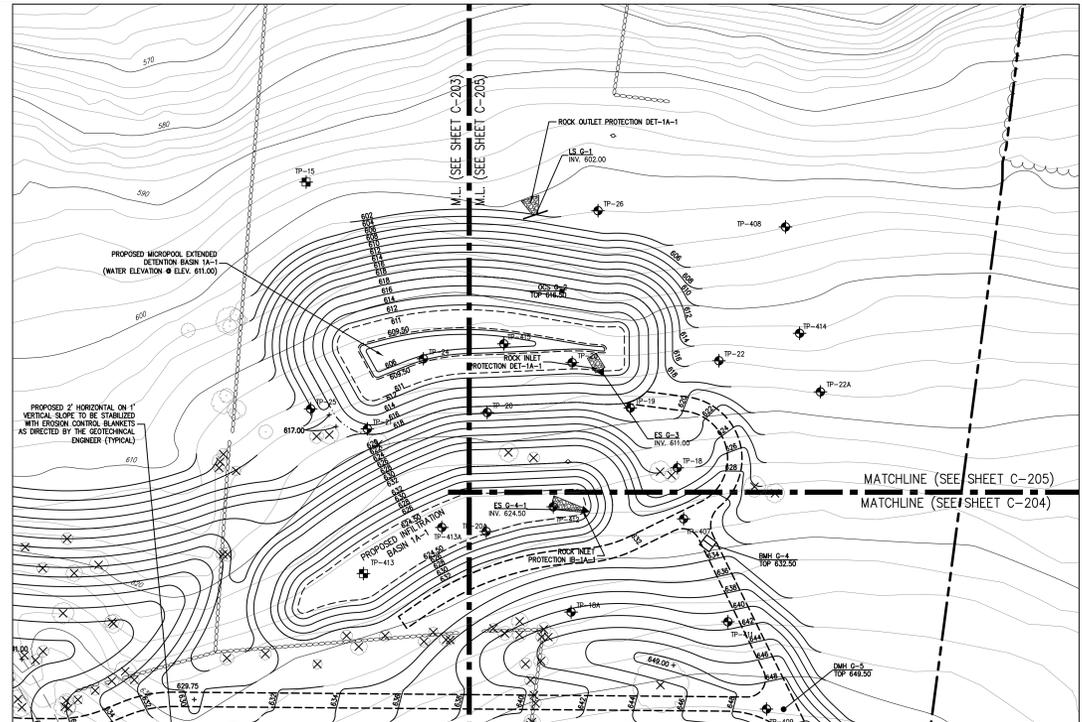
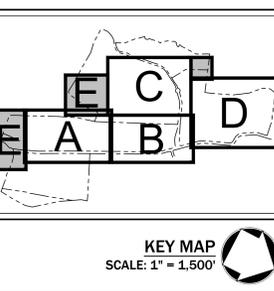




**LEGEND**

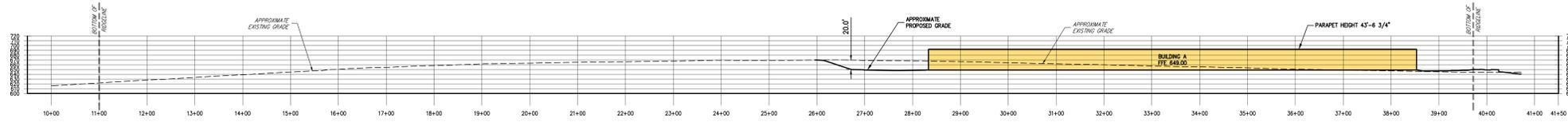
---	EXISTING/PROPOSED PROPERTY LINE
---	PROPOSED SUBDIVISION LINE
---	ADJACENT PROPERTY LINE
---	EXISTING WETLAND LINE AND DELINEATION
---	EXISTING NYSDEC WETLAND BUFFER
---	EXISTING TOWN WETLAND BUFFER
---	EXISTING NYDEC LIMITING DISTANCE
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE/CURB LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING GUIDE RAIL
---	EXISTING FENCE
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---	PROPOSED BUILDING LINE
---	PROPOSED WATER STORAGE TANK LINE
---	PROPOSED EDGE OF PAVEMENT/CURB LINE
---	PROPOSED LANDBANKED PARKING
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DROP CURB AND RAMP
---	PROPOSED FINISHED GRADE
---	PROPOSED SPOT GRADE
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED TYPE CI DRAIN INLET
---	PROPOSED TYPE DI DRAIN INLET
---	PROPOSED RIP-RAP
---	PROPOSED HEADWALL
---	PROPOSED END SECTION
---	PROPOSED HYDRANT
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED LIGHTING STANDARD (DESIGN BY OTHERS)
---	BORING LOCATION AND DESIGNATION
---	EXISTING FEATURE TO BE REMOVED
---	TEST PIT LOCATION/DESIGNATION FROM 1987
---	BORING LOCATION/DESIGNATION FROM 1987
---	PAVEMENT CORE LOCATION/DESIGNATION FROM 2018
---	STORMWATER TEST LOCATION/DESIGNATION FROM 2018
---	SANITARY TEST LOCATION/DESIGNATION FROM 2018
---	ROADWAY TEST PIT LOCATION/DESIGNATION FROM 2018

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/27/1987, PREPARED BY SESI CONSULTING ENGINEERS.
  - PAVEMENT CORE STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED NORTHEAST INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUSLEY ROAD," DATED 06/12/2016, REVISED 11/07/2016, PREPARED BY SESI CONSULTING ENGINEERS.

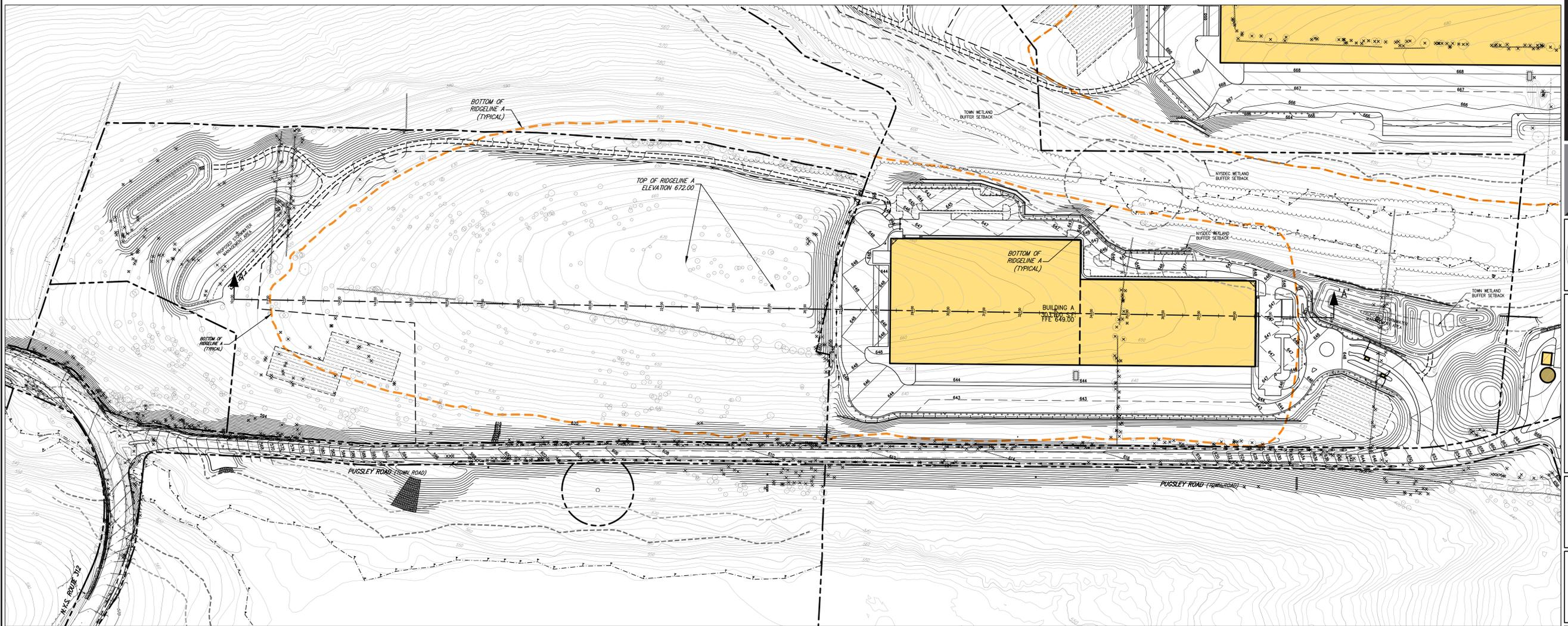


<p><b>REVISIONS</b></p> <table border="1"> <tr><th>No.</th><th>By</th><th>Date</th><th>Revised</th></tr> <tr><td>1.</td><td>ES</td><td>05/17/2018</td><td>COMPLETENESS SUBMISSION</td></tr> <tr><td>2.</td><td>KJM</td><td>03/18/2019</td><td>FIS COMPLETENESS SUBMISSION</td></tr> <tr><td>3.</td><td>KJM</td><td>05/07/2019</td><td>REVISED PER TOWN COMMENTS</td></tr> <tr><td>4.</td><td>KJM</td><td>11/09/2019</td><td>REVISED PER FIS COMMENTS</td></tr> <tr><td>5.</td><td>KJM</td><td>06/17/2020</td><td>REVISED PER NYDEC COMMENTS</td></tr> <tr><td>6.</td><td>KJM</td><td>06/17/2020</td><td>REVISED PER NYDEC COMMENTS</td></tr> </table>	No.	By	Date	Revised	1.	ES	05/17/2018	COMPLETENESS SUBMISSION	2.	KJM	03/18/2019	FIS COMPLETENESS SUBMISSION	3.	KJM	05/07/2019	REVISED PER TOWN COMMENTS	4.	KJM	11/09/2019	REVISED PER FIS COMMENTS	5.	KJM	06/17/2020	REVISED PER NYDEC COMMENTS	6.	KJM	06/17/2020	REVISED PER NYDEC COMMENTS	<p><b>APPLICANT/OWNER:</b></p> <p><b>PUTNAM SEABURY PARTNERS, L.P.</b> 287 KING STREET CHAPPAQUA, NY 0514</p>
No.	By	Date	Revised																										
1.	ES	05/17/2018	COMPLETENESS SUBMISSION																										
2.	KJM	03/18/2019	FIS COMPLETENESS SUBMISSION																										
3.	KJM	05/07/2019	REVISED PER TOWN COMMENTS																										
4.	KJM	11/09/2019	REVISED PER FIS COMMENTS																										
5.	KJM	06/17/2020	REVISED PER NYDEC COMMENTS																										
6.	KJM	06/17/2020	REVISED PER NYDEC COMMENTS																										
<p><b>DESIGNER:</b></p> <p><b>JMC Planning, Engineering, Landscape Architecture &amp; Land Surveying, PLLC</b> JMC Site Development Consultants, LLC John Myers Consulting, Inc.</p> <p>120 BEAUFORT ROAD - ARBONIA, NY 05534 voice 518.233.5253 fax 518.273.2192 www.jmcpllc.com</p>	<p><b>GRADING PLAN 'E'</b> COMMERCIAL CAMPUS AT FIELDS CORNER TOWN OF SOUTHEAST, NEW YORK</p>																												
<p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.</p>	<p>Drawn: KJM Approved: R.P. Scale: 1" = 50' Date: 11/06/2017 Project No: 14012 NO. 08 GRADING E 2, 3040 sq ft Drawing No: <b>C-205</b></p>																												

NOT FOR CONSTRUCTION



SECTION 'A'-A'  
 HORIZONTAL SCALE: 1" = 100'  
 VERTICAL SCALE: 1" = 100'



PLAN VIEW  
 SCALE: 1" = 100'

NOT FOR CONSTRUCTION

No.	Revision	Date
1.	THIS COMPLETENESS SUBMISSION	05/17/2018
2.	FEE COMPLETENESS SUBMISSION	05/18/2018
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FEE COMMENTS	11/09/2019
5.	REVISED PER NYDEC COMMENTS	09/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

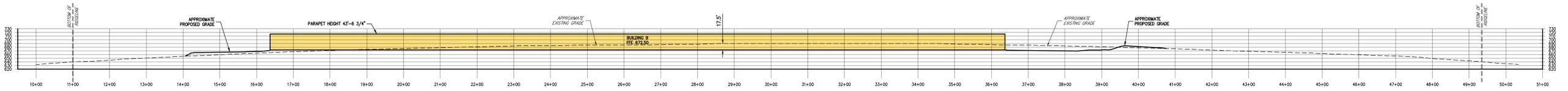
JMC Planning, Engineering, Landscape  
 Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - WARREN, NY 10594  
 voice 518.233.5525 • fax 518.273.2192  
 www.jmcpllc.com



RIDGELINE CROSS  
 SECTION 'A'-A'  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS,  
 SPECIFICATIONS, PLATS AND  
 REPORTS BEARING THE SEAL  
 OF A LICENSED PROFESSIONAL  
 ENGINEER OR LICENSED LAND  
 SURVEYOR IS A VIOLATION OF  
 SECTION 7209 OF THE NEW  
 YORK STATE EDUCATION LAW,  
 EXCEPT AS PROVIDED FOR BY  
 SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	RJP
Scale	1" = 100'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	SECTION-A SECTION-A SECTION-A		
Sheet Title	C-211		



SECTION 'B'-'B'  
 HORIZONTAL SCALE: 1" = 100'  
 VERTICAL SCALE: 1" = 100'



PLAN VIEW  
 SCALE: 1" = 100'

NOT FOR CONSTRUCTION

No.	Revisions	Date
1.	DESIGN COMPLETENESS SUBMISSION	05/17/2018
2.	DESIGN COMPLETENESS SUBMISSION	03/19/2019
3.	REVISED PER TOWN COMMENTS	05/07/2019
4.	REVISED PER FES COMMENTS	11/09/2019
5.	REVISED PER NYCEP COMMENTS	09/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 0514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
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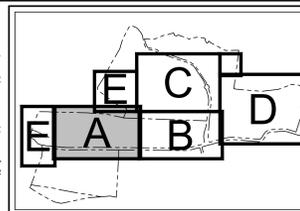
RIDGELINE CROSS  
 SECTION 'B'-'B'  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

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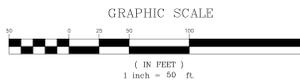
Drawn: KSM	Approved: RJP
Scale: 1" = 100'	
Date: 11/06/2017	
Project No: 14012	
Sheet: SECTION-B	SECTION-B
Sheet No: C-212	

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BACEY & WATSON, SURVEYING AND ENGINEERING, P.C.
- GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
- PAVEMENT CORE, STORMWATER TEST, SANITARY TEST LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "GEOTECHNICAL INVESTIGATION REPORT FOR PROPOSED HIGHWAY INTERSTATE LOGISTICS CENTER ROUTE 312 AND PUGSEY ROAD", DATED 06/12/2016, REVISED 11/07/2016, PREPARED BY SES CONSULTING ENGINEERS.
- PIPE FOR STORM DRAINS IDENTIFIED AS HOPE HEREON SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2548. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM D-3212.
- ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

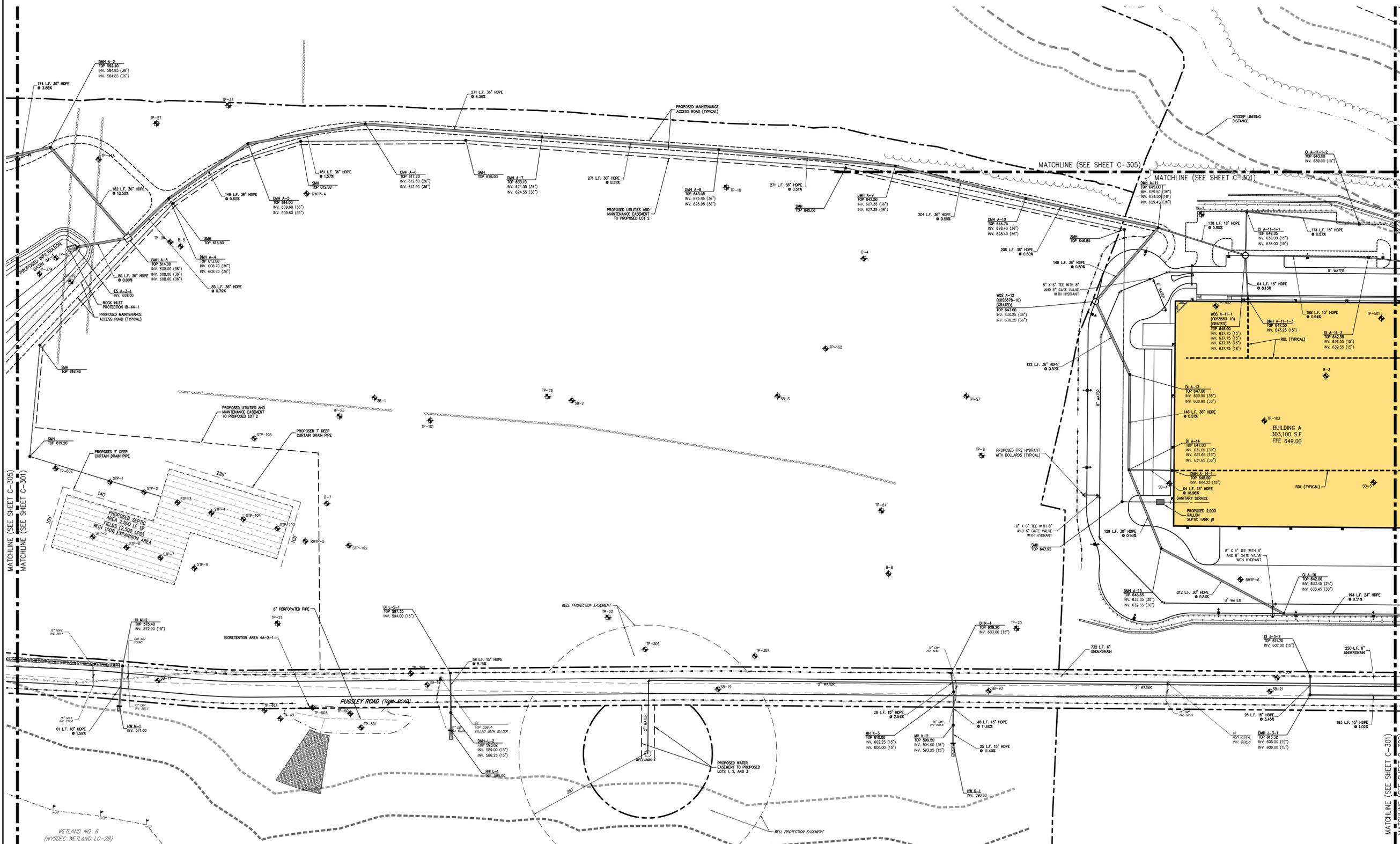


KEY MAP  
SCALE: 1" = 1,500'



**LEGEND**

- |     |                                       |   |      |  |
|-----|---------------------------------------|---|------|--|
| --- | EXISTING PROPOSED PROPERTY LINE       | ● | SMH  | PROPOSED SANITARY SEWER MANHOLE                          |
| --- | PROPOSED SUBDIVISION LINE             | ○ | MI   | PROPOSED STORM DRAIN MANHOLE                             |
| --- | ADJACENT PROPERTY LINE                | ○ | DI   | PROPOSED TYPE C DRAIN INLET                              |
| --- | EXISTING METLAND LINE AND DELINEATION | ○ | DI   | PROPOSED TYPE D DRAIN INLET                              |
| --- | EXISTING NYSDC METLAND BUFFER         | ○ | RO   | PROPOSED ROCK OUTLET PROTECTION                          |
| --- | EXISTING NYSDC METLAND BUFFER         | ○ | HW   | PROPOSED HEADWALL  |
| --- | EXISTING WYDEP LIMITING DISTANCE      | ○ | ES   | PROPOSED END SECTION                                     |
| --- | EXISTING BUILDING LINE                | ○ | SD   | PROPOSED STORM DRAIN LINE & SIZE                         |
| --- | EXISTING PAVEMENT EDGE/CURB LINE      | ○ | 6" W | PROPOSED SANITARY SEWER LINE                             |
| --- | EXISTING STONE WALL                   | ○ | 6" W | PROPOSED WATER LINE & SIZE                               |
| --- | EXISTING GUIDE RAIL                   | ○ | 6" W | PROPOSED ROOF DRAIN LEADER (ROL)                         |
| --- | EXISTING FENCE                        | ○ | 6" W | PROPOSED WATER VALVE                                     |
| --- | EXISTING STORM DRAIN LINE AND SIZE    | ○ | 6" W | PROPOSED RETAINING WALL (DESIGN BY OTHERS)               |
| --- | EXISTING OVERHEAD WIRES               | ○ | 6" W | PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS) |
| --- | EXISTING UTILITY POLE                 | ○ | 6" W | PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS) |
| --- | PROPOSED BUILDING LINE                | ○ | 6" W | PROPOSED UTILITY POLE                                    |
| --- | PROPOSED WATER STORAGE TANK LINE      | ○ | 6" W | EXISTING FEATURE TO BE REMOVED                           |
| --- | PROPOSED EDGE OF PAVEMENT/CURB LINE   | ○ | 6" W |  |
| --- | PROPOSED LANDBANKED PARKING           | ○ | 6" W |  |

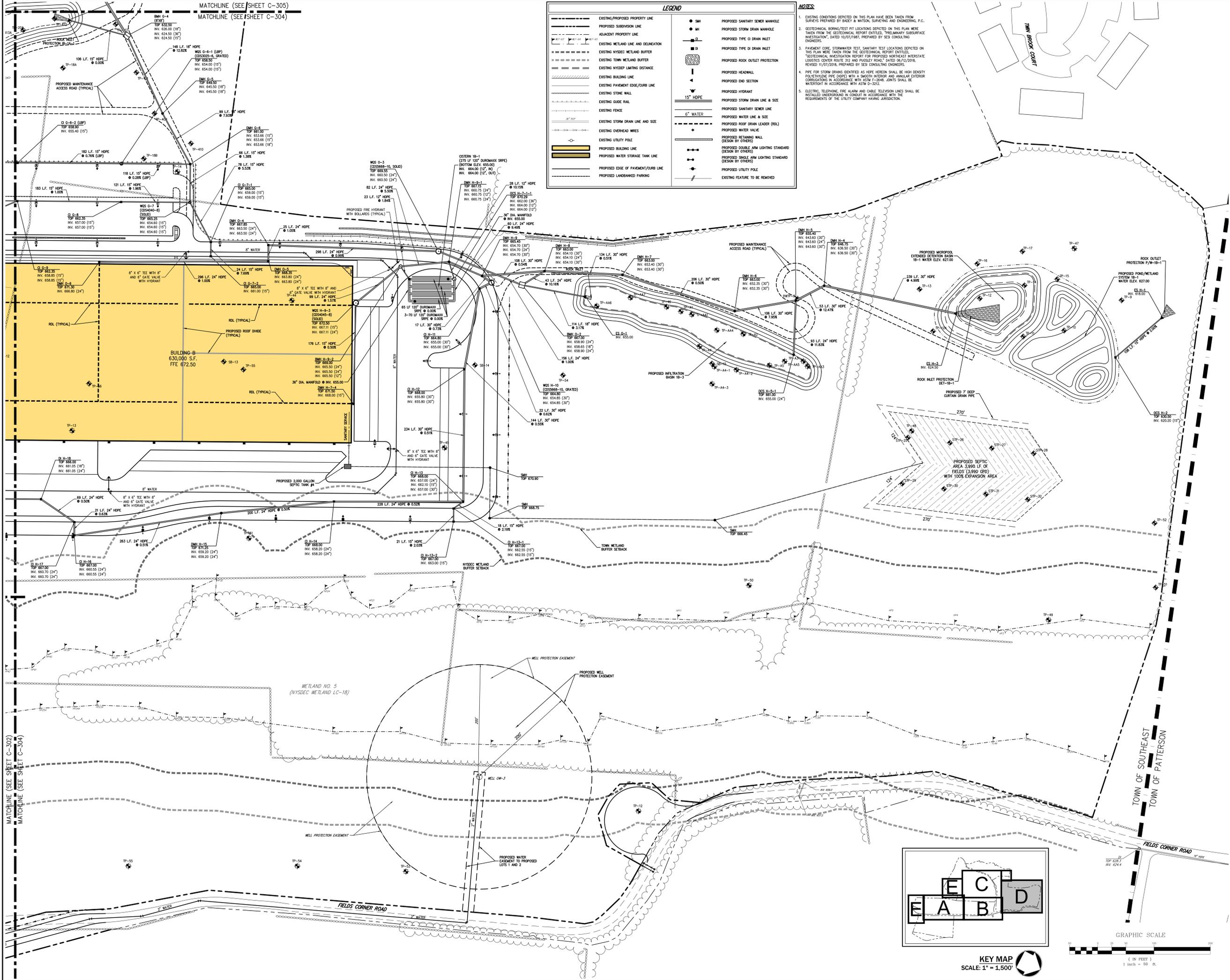


NOT FOR CONSTRUCTION

<p>APPLICANT/TOWN:</p> <p>REVISIONS:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revised</th> </tr> </thead> <tbody> <tr> <td>1.</td> <td>05/17/2018</td> <td>DESIGN SUBMISSION</td> </tr> <tr> <td>2.</td> <td>05/18/2018</td> <td>DESIGN SUBMISSION</td> </tr> <tr> <td>3.</td> <td>05/18/2018</td> <td>DESIGN SUBMISSION</td> </tr> <tr> <td>4.</td> <td>05/18/2018</td> <td>DESIGN SUBMISSION</td> </tr> <tr> <td>5.</td> <td>05/18/2018</td> <td>DESIGN SUBMISSION</td> </tr> <tr> <td>6.</td> <td>05/18/2018</td> <td>DESIGN SUBMISSION</td> </tr> </tbody> </table>	No.	Date	Revised	1.	05/17/2018	DESIGN SUBMISSION	2.	05/18/2018	DESIGN SUBMISSION	3.	05/18/2018	DESIGN SUBMISSION	4.	05/18/2018	DESIGN SUBMISSION	5.	05/18/2018	DESIGN SUBMISSION	6.	05/18/2018	DESIGN SUBMISSION	<p><b>PUTNAM SEABURY PARTNERS, L.P.</b> 287 KING STREET CHAPPAQUA, NY 10514</p> <p>JMC Planning, Engineering, Landscape Architecture &amp; Land Surveying, PLLC JMC Site Development Consultants, LLC John Meyer Consulting, Inc. 120 BEAUFORT ROAD - ARMONK, NY 10504 VOICE: 914.233.5525 - FAX: 914.272.2192 www.jmcpllc.com</p> <p><b>JMC</b></p> <p><b>UTILITIES PLAN 'A'</b> COMMERCIAL CAMPUS AT FIELDS CORNER TOWN OF SOUTHEAST, NEW YORK</p> <p>ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.</p> <table border="0"> <tr> <td>Drawn: KSM</td> <td>Approved: RJP</td> </tr> <tr> <td>Scale: 1" = 50'</td> <td></td> </tr> <tr> <td>Date: 11/06/2017</td> <td></td> </tr> <tr> <td>Project No: 14012</td> <td></td> </tr> <tr> <td>WDR: R</td> <td>UTL: A</td> </tr> <tr> <td>Sheet No: 1</td> <td>Total: 1</td> </tr> </table> <p style="text-align: center; font-weight: bold; font-size: 1.2em;">C-301</p>	Drawn: KSM	Approved: RJP	Scale: 1" = 50'		Date: 11/06/2017		Project No: 14012		WDR: R	UTL: A	Sheet No: 1	Total: 1
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Sheet No: 1	Total: 1																																	







**LEGEND**

---	EXISTING/PROPOSED PROPERTY LINE	●	DMH	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED SUBDIVISION LINE	○	WH	PROPOSED STORM DRAIN MANHOLE
---	ADJACENT PROPERTY LINE	□	□	PROPOSED TYPE D DRAIN INLET
---	EXISTING METLAND LINE AND DELINEATION	□	□	PROPOSED TYPE DI DRAIN INLET
---	EXISTING NYSED METLAND BUFFER	□	□	PROPOSED ROOF OUTLET PROTECTION
---	EXISTING HYDREP LIMITING DISTANCE	□	□	PROPOSED HEADWALL
---	EXISTING BUILDING LINE	□	□	PROPOSED END SECTION
---	EXISTING PAVEMENT EDGE/CURB LINE	□	□	PROPOSED HYDRANT
---	EXISTING STONE WALL	□	□	PROPOSED STORM DRAIN LINE & SIZE
---	EXISTING GUIDE RAIL	□	□	PROPOSED SANITARY SEWER LINE
---	EXISTING FENCE	□	□	PROPOSED WATER LINE & SIZE
---	EXISTING STORM DRAIN LINE AND SIZE	□	□	PROPOSED ROOF DRAIN LEADER (RDL)
---	EXISTING OVERHEAD WIRES	□	□	PROPOSED WATER VALVE
---	EXISTING UTILITY POLE	□	□	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED BUILDING LINE	□	□	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
---	PROPOSED WATER STORAGE TANK LINE	□	□	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
---	PROPOSED EDGE OF PAVEMENT/CURB LINE	□	□	PROPOSED UTILITY POLE
---	PROPOSED LANDMARKING PARKING	□	□	EXISTING FEATURE TO BE REMOVED

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BARRY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1987, PREPARED BY SES CONSULTING ENGINEERS.
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  - PIPE FOR STORM DRAINS IDENTIFIED AS HOPE HEREON SHALL BE HIGH DENSITY POLYETHYLENE PIPE (SDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION IN ACCORDANCE WITH ASTM F-2948. JOINTS SHALL BE WATER TIGHT IN ACCORDANCE WITH ASTM F-3072.
  - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

**REVISIONS**

No.	Date	By	Reason
1.	05/17/2018	KSM	DESIGN COMPLETENESS SUBMISSION
2.	05/18/2018	KSM	DESIGN COMPLETENESS SUBMISSION
3.	05/07/2019	KSM	REVISED PER TOWN COMMENTS
4.	12/09/2019	KSM	REVISED PER TOWN COMMENTS
5.	06/17/2020	KSM	REVISED PER NYSED COMMENTS
6.	06/17/2020	KSM	REVISED PER NYSED COMMENTS

APPLICANT/TOWN: PUTNAM SEABURY PARTNERS, L.P.  
 287 KING STREET  
 CHAPPAQUA, NY 10514

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**UTILITIES PLAN 'D'**  
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**KEY MAP**  
 SCALE: 1" = 1,500'

**GRAPHIC SCALE**  
 1 inch = 50 ft.

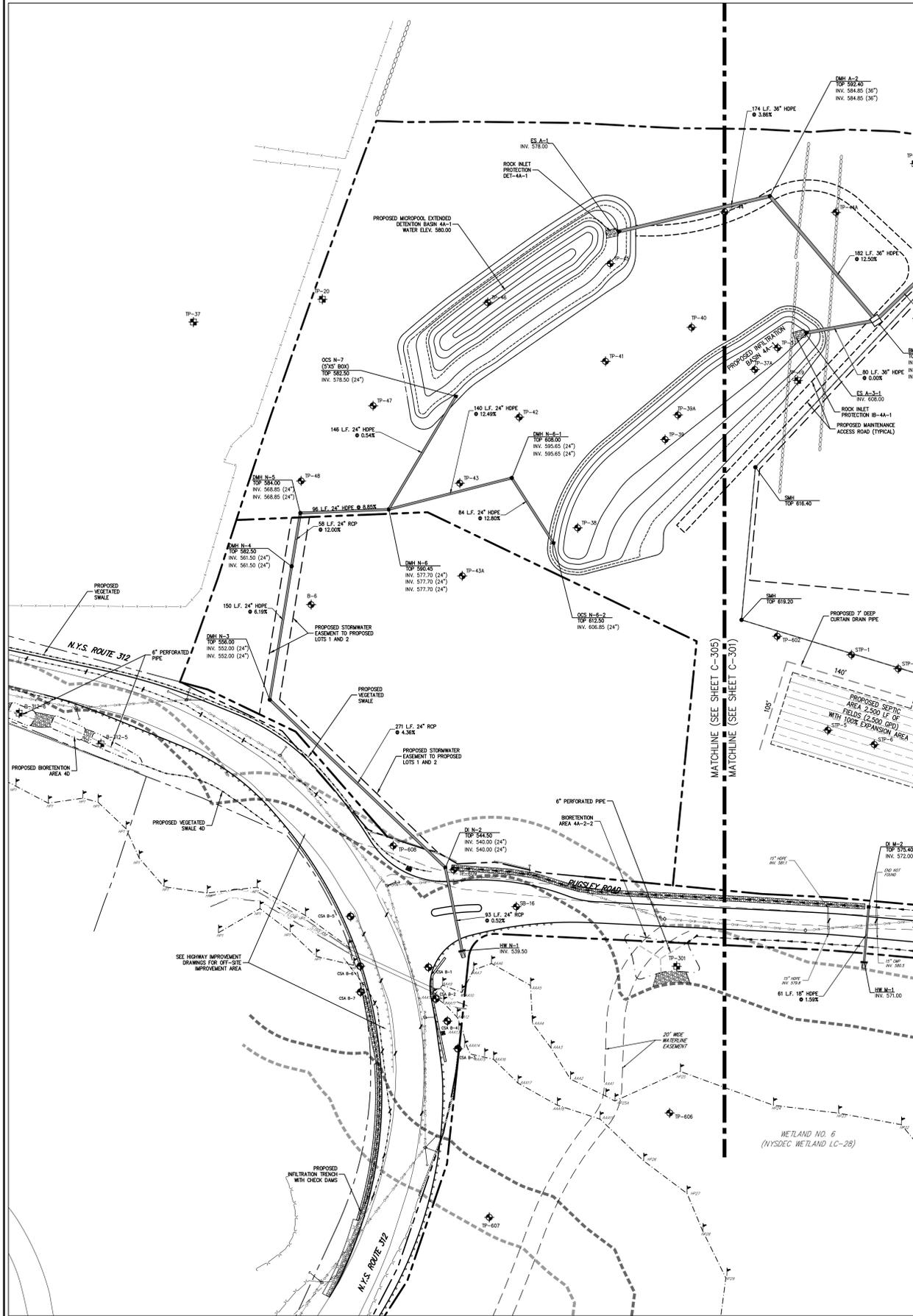
Drawn	KSM	Approved	R.P.
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	UTL D	of	1,171
Drawing No.			

**C-304**

NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-302)  
 MATCHLINE (SEE SHEET C-304)

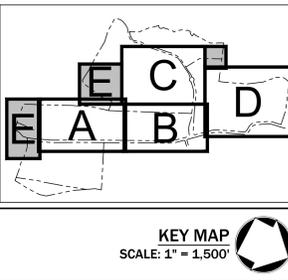
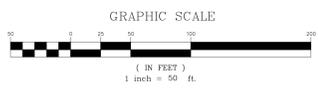
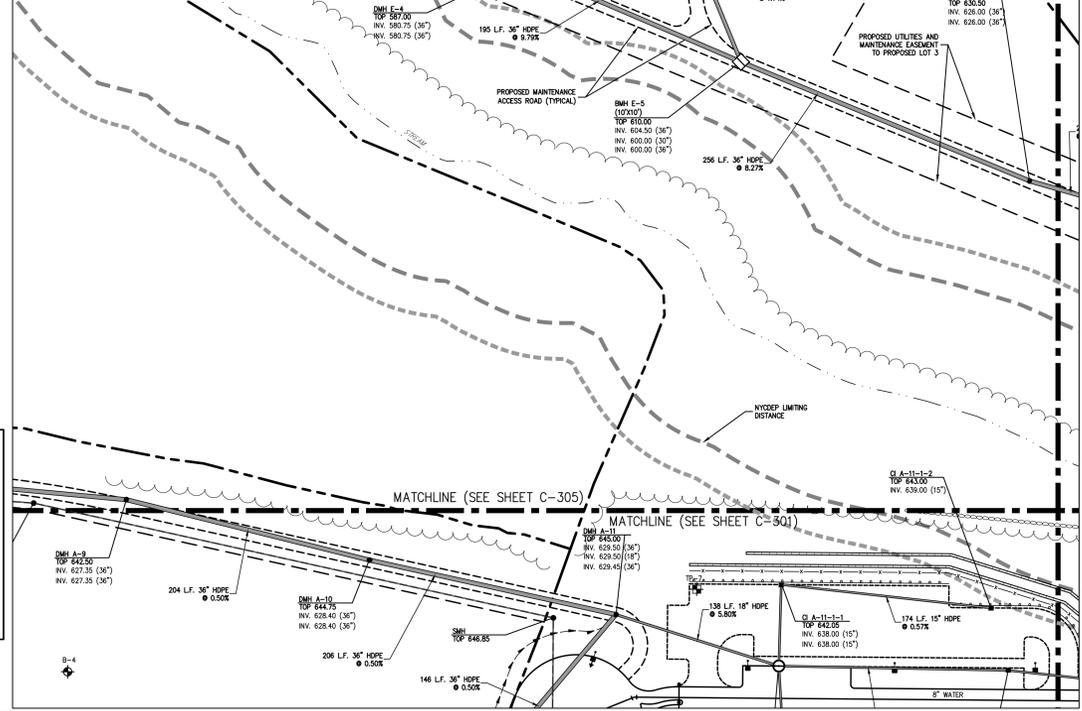
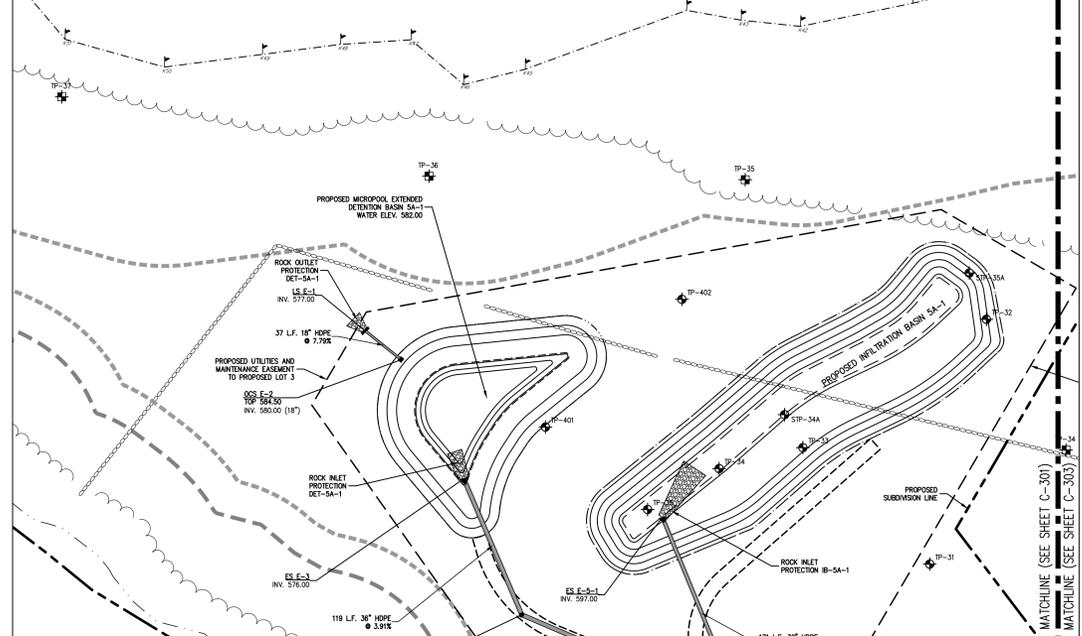
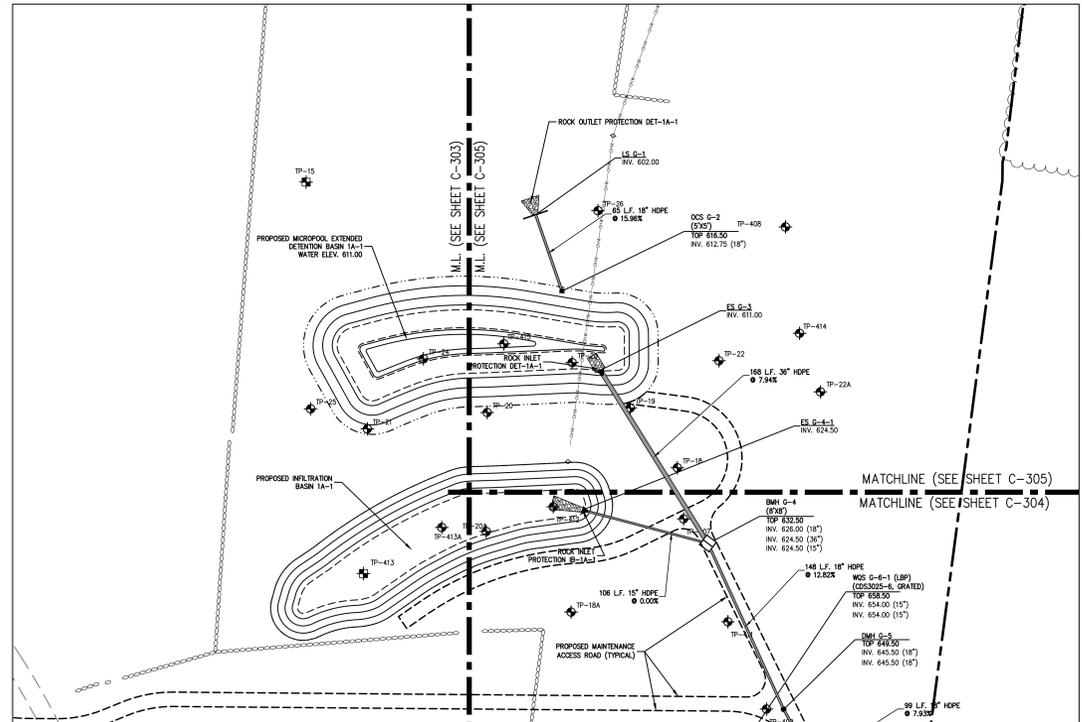
MATCHLINE (SEE SHEET C-305)  
 MATCHLINE (SEE SHEET C-304)



**LEGEND**

- EXISTING/PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION LINE
- ADJACENT PROPERTY LINE
- EXISTING METLAND LINE AND DELINEATION
- EXISTING NYSDEC METLAND BUFFER
- EXISTING TOWN METLAND BUFFER
- EXISTING NYSED LIMITING DISTANCE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE/CURB LINE
- EXISTING STONE WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED WATER STORAGE TANK LINE
- PROPOSED EDGE OF PAVEMENT/CURB LINE
- PROPOSED LANDSCAPED PARKING
- PROPOSED SANITARY SEWER MANHOLE
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- PROPOSED TYPE C DRAIN INLET
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- PROPOSED ROCK OUTLET PROTECTION
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- PROPOSED UTILITY POLE
- EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAKER & MITCHELL SURVEYING AND ENGINEERING, P.C.
  - GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED "PRELIMINARY SUBSURFACE INVESTIGATION", DATED 10/07/1993, PREPARED BY SES CONSULTING ENGINEERS.
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  - ELECTRIC, TELEPHONE, FIRE ALARM AND CABLE TELEVISION LINES SHALL BE INSTALLED UNDERGROUND IN CONSIDERANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.



Revised	Date	By	App. By
1. THIS COMPLETENESS SUBMISSION	05/17/2018	KSM	
2. FEES COMPLETENESS SUBMISSION	03/16/2018	KSM	
3. REVISED PER TOWN COMMENTS	05/07/2019	KSM	
4. REVISED PER FEES COMMENTS	11/09/2019	KSM	
5. REVISED PER NYSED COMMENTS	06/17/2020	KSM	
6. REVISED PER NYSED COMMENTS	06/17/2020	KSM	

APPLICANT/TOWN: PUTNAM SEABURY PARTNERS, L.P.  
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www.jmccorp.com

**JMC**

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Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	UTL E	1 of 1	

**C-305**

NOT FOR CONSTRUCTION

TABLE OF SOIL RESTORATION REQUIREMENTS		
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENTS	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY (NO CHANGE IN GRADE)	HSG A/B/C APPLY 4 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	HSG A/B/C APPLY 4 INCHES OF TOPSOIL	CLEARING AND GRUBBING
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5 TO 25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS (TO PROTECT HEAVY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES)
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS (TO PROTECT HEAVY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES)
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING INFILTRATION AREAS WILL BE COVERED TO PREVIOUS AREA	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS (TO PROTECT HEAVY INSTALLED PRACTICE FROM ANY ONGOING CONSTRUCTION ACTIVITIES)

**TABLE OF SOIL RESTORATION REQUIREMENTS NOTES:**

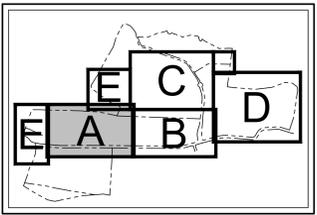
1. AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COULTER MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPINES MAKING INDENTATIONS IN THE SOIL, OR PRONGS WHICH FUNCTION LIKE A MINI-SUBSOILER.
2. PER "DEEP RIPPING AND DE-COMPACT, NYSDEC 2008."

**NOTES:**

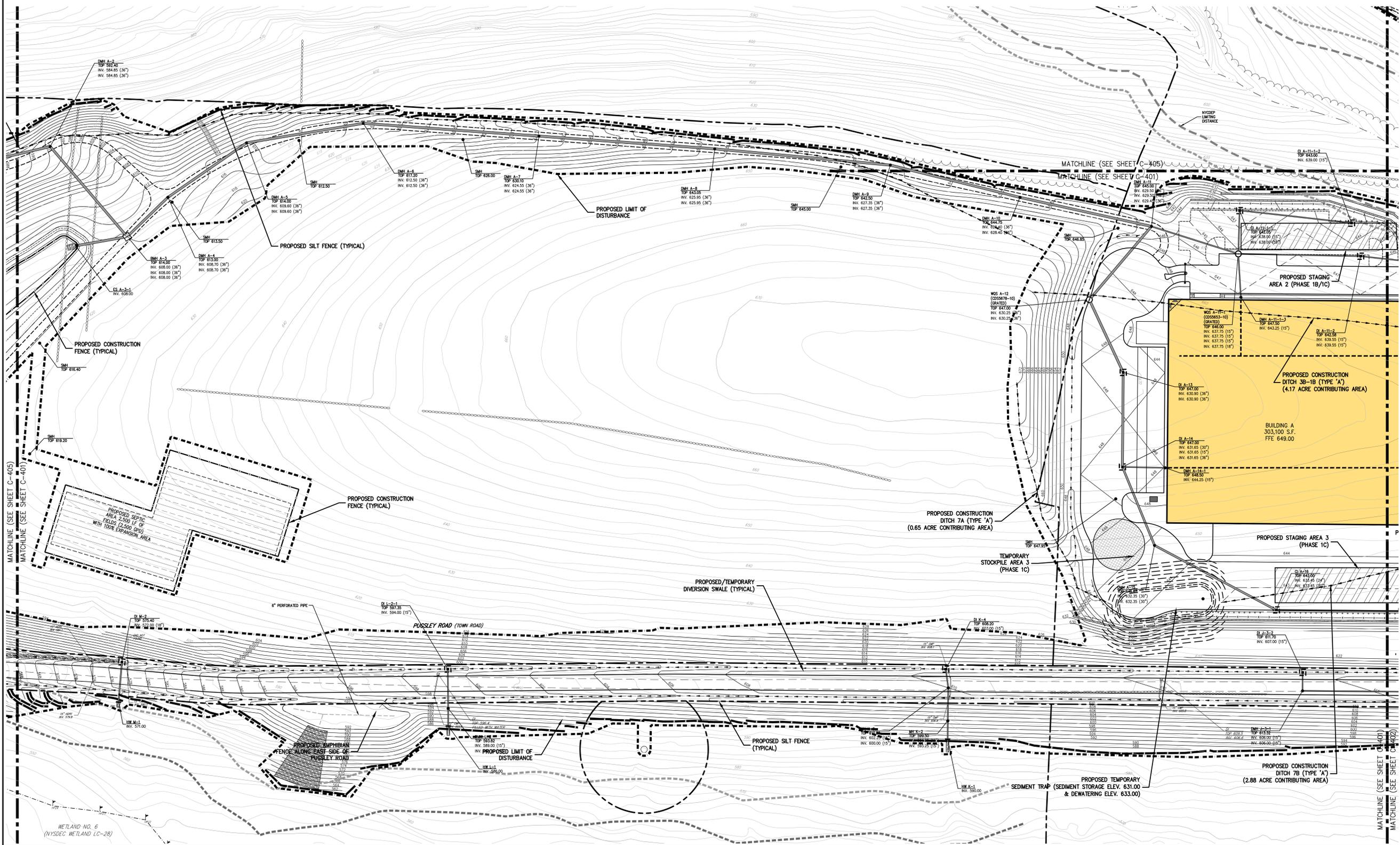
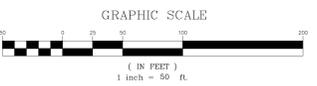
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
2. THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
3. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR DEWATERING, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED, FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
4. THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS, AFTER EACH RAINFALL, AND AS MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE. ALL COLLECTED SEDIMENT SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIERS. ALL SEDIMENT COLLECTED SHALL BE REUSE ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
5. THE QUALIFIED INSPECTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINFALL, AND AS MAY BE REQUIRED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON EVIDENCE OF SEDIMENT IN DOWNSTREAM AREAS IN ACCORDANCE WITH ANY GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (20-010-003) TO ALL AGENCIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED, SINCE MORE THAN 3 ACRES WILL BE OPEN AT ONE TIME, THIS REQUIRES 2 INSPECTIONS PER WEEK, SEPARATED BY 2 DAYS.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, INC. AND/OR ANY AUTHORITY HAVING JURISDICTION.
7. STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND ITS PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO IMPACT ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
8. DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. ALL EXPOSED SOILS AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 300(6) SEDIMENT SITES LISTED IN APPENDIX C OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE, IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL, GUIDELINES" AND THE ANSI A300 "BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
  - A.1. IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH WHEATGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/7000 SQUARE FEET.
  - A.2. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CERTIFIED "HORSHOOD" WINTER RYE (LOCAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
10. APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
11. MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (50 POUNDS PER 1,000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
12. ALL SEEDING AREAS SHALL BE FERTILIZED, RESEED, AND MAINTAINED AS NECESSARY TO MAINTAIN DENSE, THICK VEGETATIVE COVER.
13. VEGETATIVE WASTE FROM INVASIVE SPECIES SHALL BE GROUND AND CHIPPED TO BE COMPOSTED AT AN OFF-SITE LOCATION. THE COMPOSTING PROCESS INVOLVES HIGH TEMPERATURES, WHICH KILL SEEDS AND ROOT STOCK OF INVASIVE SPECIES. THEREFORE THE COMPOSTING AREA SHALL BE SEPARATED FROM OTHER PROCESSING AREAS TO AVOID CROSS-CONTAMINATION AND LOCATED OFF-SITE. NO HERBICIDES SHALL BE APPLIED TO THE VEGETATION PRIOR TO REMOVAL, AS HERBICIDE RESIDUE CAN CONTAMINATE THE COMPOSTED MATERIAL, AS WELL AS LEACHING INTO AREAS SURROUNDING THE PROCESSING SITE AND STOCKPILE AREAS.
14. APPROXIMATELY 13.9 ACRES OF WOODLAND AREA WILL BE CLEARED.

**LEGEND**

- PROPOSED INLET PROTECTION
- PROPOSED SILT FENCE
- PROPOSED DOUBLE LINED SILT FENCE
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED CONSTRUCTION FENCE
- PROPOSED STABILIZED CONSTRUCTION ACCESS
- PROPOSED TEMPORARY STOCKPILE AREA
- PROPOSED STAGING AREA
- PROPOSED TEMPORARY SWALE
- PROPOSED TEMPORARY SEDIMENT BASIN
- TEMPORARY RISER & ANTI-VORTEX DEVICE
- EXISTING FEATURE TO BE REMOVED



**KEY MAP**  
SCALE: 1" = 1,500'



No.	Date	Revision
1.	05/17/2018	REVISION
2.	05/18/2018	REVISION
3.	05/07/2019	REVISION
4.	11/09/2019	REVISION
5.	05/17/2020	REVISION
6.	05/17/2020	REVISION

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**EROSION & SEDIMENT CONTROL PLAN 'A'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	R.P.
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet No.:	SAC A		L, SM, etc.
Sheet Title:	<b>C-401</b>		

NOT FOR CONSTRUCTION



**LEGEND**

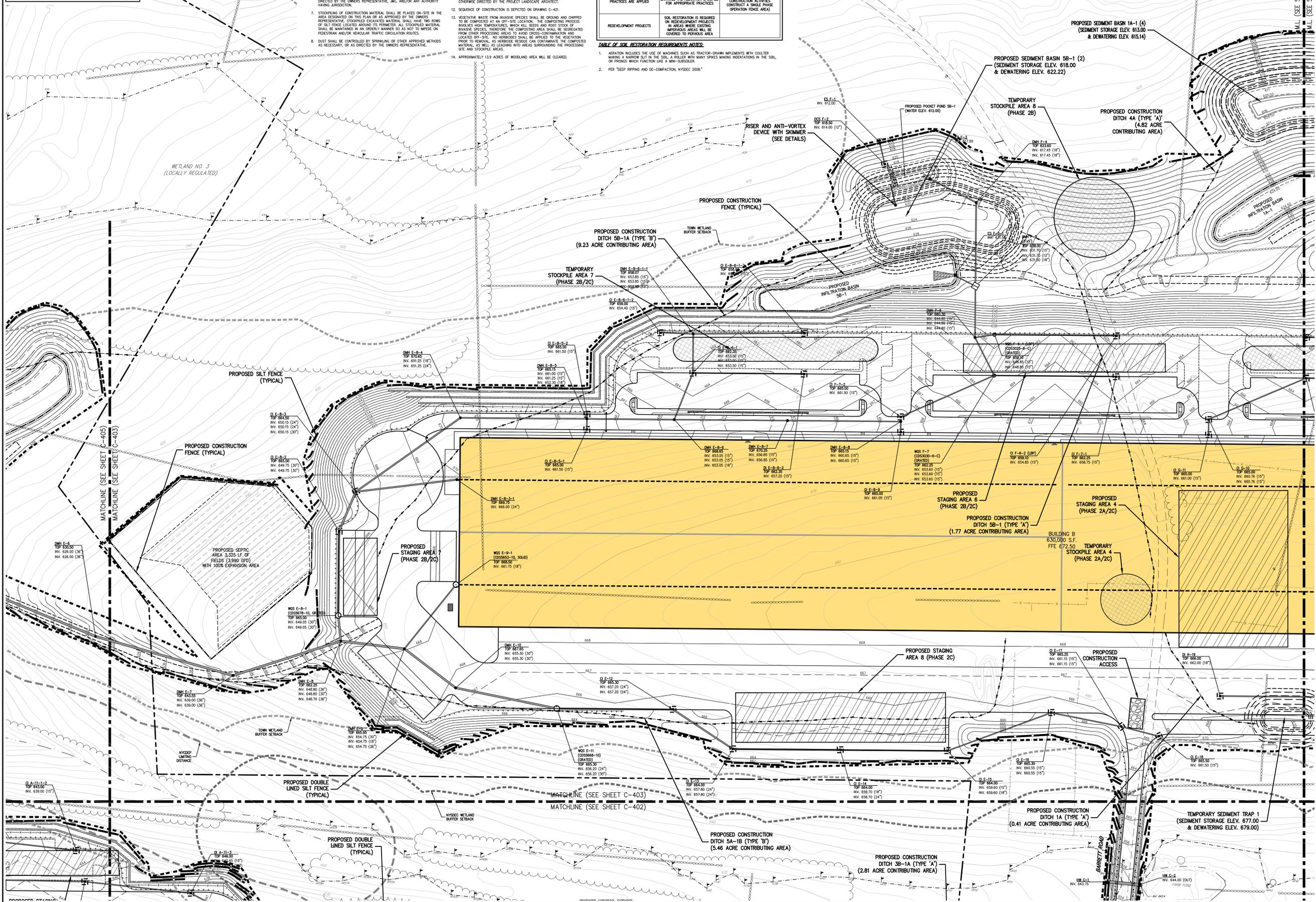
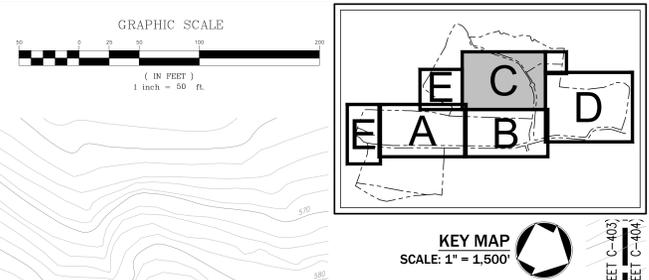
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED DOUBLE LINED SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED CONSTRUCTION FENCE
	PROPOSED STABILIZED CONSTRUCTION ACCESS
	PROPOSED TEMPORARY STOCKPILE AREA
	PROPOSED STAGING AREA
	PROPOSED TEMPORARY STREAM
	PROPOSED TEMPORARY SEDIMENT BASIN
	PROPOSED RISER & ANTI-VORTEX DEVICE
	EXISTING FEATURE TO BE REMOVED

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
  - BEFORE BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT WITHIN THE FUNCTION OF THE SEDIMENT BARRIERS, ALL SEDIMENT COLLECTED SHALL BE RESPAVED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - THE QUALIFIED INSPECTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A DAILY BASIS. AFTER EACH BRANCHING AND AS MAY BE REQUIRED OR DIRECTED BY ALL APPLICABLE AGENCIES AND AGENCIES THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON EVIDENCE OF SEDIMENTATION TO THE OWNER'S REPRESENTATIVE WITHIN GENERAL TERMS FOR STOPPAGE OF WORK UNTIL THE CAUSE OF THE SEDIMENTATION IS IDENTIFIED AND CORRECTED. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDS OF ALL ACTIVITIES (09-C-010-002) TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED. SLUICED MORE THAN 3 ADJACENT AREAS SHALL BE OPEN AT ONE TIME. THIS REQUIRES 2 INSPECTORS FOR EACH, SEPARATED BY 2 DAYS.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, JMC, AND/OR ANY AUTHORITY HAVING JURISDICTION.
  - SEQUENCE OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED CONCRETE MATERIAL SHALL HAVE TWO ROWS OF SILT FENCE LOCATED AROUND THE PERIMETER. ALL STOCKPILED MATERIAL SHALL BE MAINTAINED IN AN ORDERLY MANNER SO AS NOT TO INTERFERE ON PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  - GRASS SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DAYS (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY ADJACENT TO ONE OF THE ABOVE SEDIMENTATION SITES LISTED IN APPENDIX E OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE TEMPORARILY SEEDING WITHIN 24 HOURS OF DISTURBANCE. IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) "EROSION AND SEDIMENT CONTROL GUIDELINES" AND THE ANS A400 "BEST MANAGEMENT PRACTICES FOR TREE AND SHrub PLANTING, TRANSPLANTING, MAINTENANCE AND CARE," PREPARED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
    - SEED MIXTURE AND RATE OF APPLICATION:
    - IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH RYEGRASS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.2 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
    - IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH CRYSTAL BROMUS (PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.2 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET.
    - APPROXIMATELY 133 ACRES OF WOODLAND AREA WILL BE CLEARED.

**TABLE OF SOIL RESTORATION REQUIREMENTS**

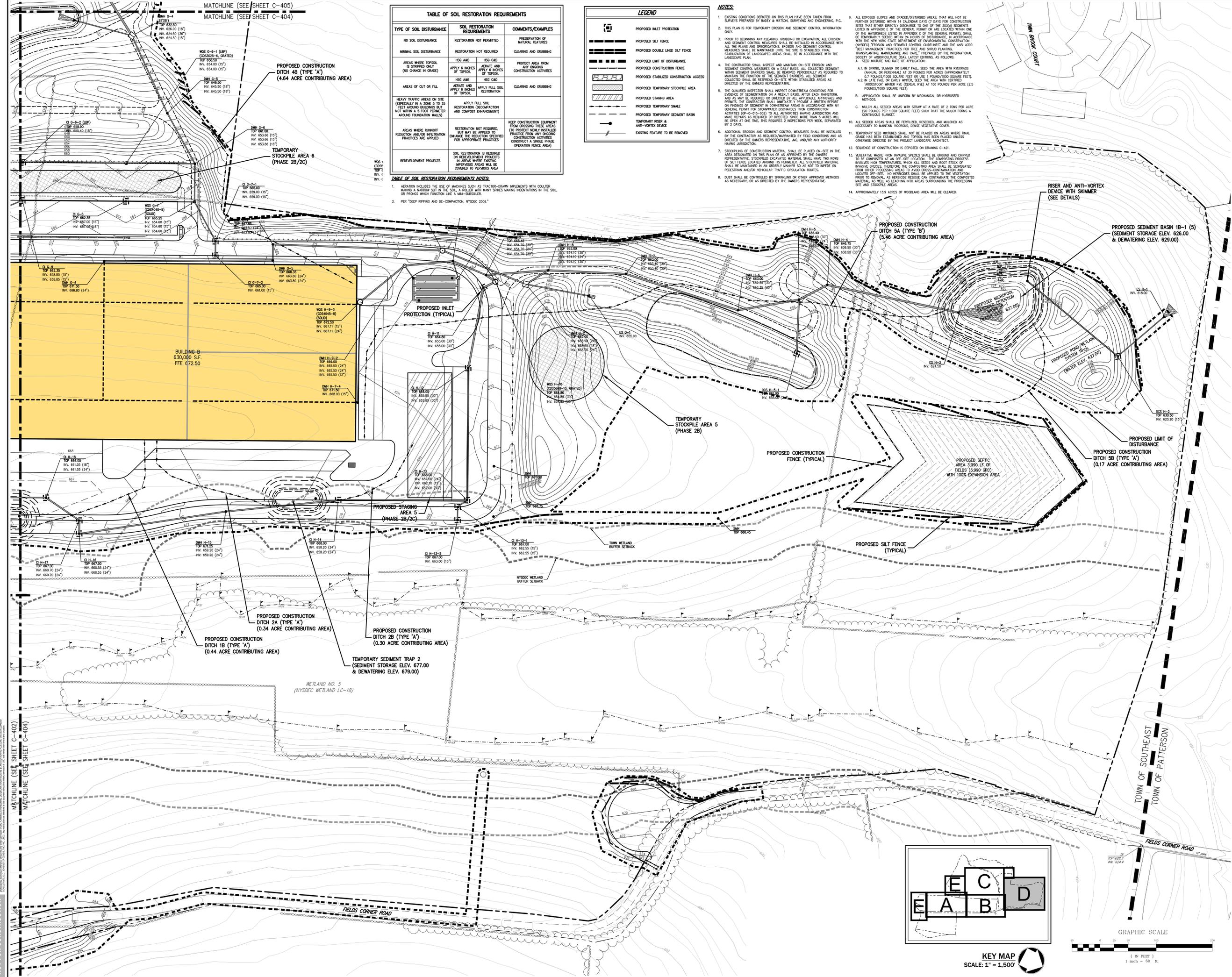
TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENTS	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY (NO CHANGE IN GRADE)	HSS CAD APPLY 4 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	HSS CAD APPLY 4 INCHES OF TOPSOIL	CLEARING AND GRUBBING
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 5 TO 25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT FOOTPRINT AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS (TO PROTECT NEWLY INSTALLED PRACTICES FROM ANY ONGOING CONSTRUCTION ACTIVITIES) CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO CHANGE THE RESTORATION SPECIFIED FOR APPROPRIATE PRACTICES	
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED TO COVER EXISTING IMPERVIOUS AREAS WILL BE COVERED TO PERVIOUS AREA	

- TABLE OF SOIL RESTORATION REQUIREMENTS NOTES:**
- ABRICATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COLLATER MARKING A NARROW SLIT IN THE SOIL. A ROLLER WITH MANY SPIKES MAKING INDENTATIONS IN THE SOIL, OR FRONTS WHICH FUNCTION LIKE A MINI-SUBCUTTER.
  - FOR "DEEP RIPPING AND DE-COMPACTION, NYSDEC 2008."

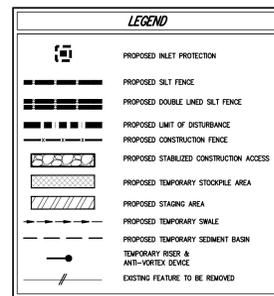


<p><b>JMC</b> JMC Planning, Engineering, Landscape Architecture &amp; Land Surveying, LLC JMC Site Development Consultants, LLC John Myers Consulting, Inc.</p> <p>120 BELLEVILLE ROAD - WARREN, NY 10584 voice 518.233.5525 fax 518.272.2192 www.jmcinc.com</p>	<p><b>PUTNAM SEABURY PARTNERS, L.P.</b> 287 KING STREET CHAPPAQUA, NY 0514</p>	<p><b>EROSION &amp; SEDIMENT CONTROL PLAN 'C'</b> COMMERCIAL CAMPUS AT FIELDS CORNER TOWN OF SOUTH-EAST, NEW YORK</p>	<p>Drawn: KSM Approved: RJP Scale: 1" = 50' Date: 11/06/2017 Project No: 14012 MSE: SM SMC L LSM Checked by:</p>
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ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENTS	COMMENTS/EXAMPLES
NO SOIL DISTURBANCE	RESTORATION NOT PERMITTED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION NOT REQUIRED	CLEARING AND GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY (NO CHANGE IN GRADE)	HSS AMB APPLY 4 INCHES OF TOPSOIL	PROTECT AREA FROM ANY ONGOING CONSTRUCTION ACTIVITIES
AREAS OF CUT OR FILL	HSS AMB APPLY FULL SOIL RESTORATION	CLEARING AND GRUBBING
HEAVY TRAFFIC AREAS ON SITE (ESPECIALLY IN A ZONE 3 TO 25 FEET AROUND BUILDINGS BUT NOT WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION AND COMPOST ENHANCEMENT)	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS (TO PROTECT NEWLY INSTALLED PRACTICES FROM ANY ONGOING CONSTRUCTION ACTIVITIES CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA)
AREAS WHERE RUNOFF REDUCTION AND/OR INfiltration PRACTICES ARE APPLIED	RESTORATION NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE DISTURBED AREAS WILL BE COVERED TO PREVIOUS AREA	



- NOTES:**
- EXISTING CONDITIONS SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BARRY A. WATSON, SURVEYING AND ENGINEERING, P.C.
  - THIS PLAN IS FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
  - PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED, FINISHED, OR RESTORED TO ORIGINAL OR BETTER CONDITION. THE MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE PLAN.
  - THE CONTRACTOR SHALL INSPECT AND MAINTAIN ON-SITE EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS. ALL COLLECTED SEDIMENT FROM PROPOSED SEDIMENT BASINS SHALL BE REMOVED PERIODICALLY AS REQUIRED TO MAINTAIN THE FUNCTION OF THE SEDIMENT BASINS. ALL SEDIMENT COLLECTED SHALL BE REUSED ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - THE QUALIFIED INSPECTOR SHALL MONITOR DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS, AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL IMMEDIATELY PROVIDE A WRITTEN REPORT ON PROGRESS OF SEDIMENT IN DOWNSTREAM AREAS IN ACCORDANCE WITH ANY GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES (SP-0-015-002) TO ALL AUTHORITIES HAVING JURISDICTION AND MAKE REPAIRS AS REQUIRED OR DIRECTED, SINCE MORE THAN 5 ACRES WILL BE OPEN AT ONE TIME, THIS REQUIRES 2 INSPECTIONS PER WEEK, SEPARATED BY 2 DAYS.
  - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED/WARRANTED BY FIELD CONDITIONS AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE, JMC AND/OR ANY AUTHORITY HAVING JURISDICTION.
  - STOCKPILING OF CONSTRUCTION MATERIAL SHALL BE PLACED ON-SITE IN THE AREA DESIGNATED ON THIS PLAN OR AS APPROVED BY THE OWNER'S REPRESENTATIVE. STOCKPILED MATERIAL SHALL BE COVERED WITH A TARP OR OTHER MEANS TO PREVENT WIND-EROSION AND TO PREVENT PEDESTRIAN AND/OR VEHICULAR TRAFFIC CIRCULATION ROUTES.
  - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - ALL EXPOSED SLOPES AND GRADED/DISTURBED AREAS, THAT WILL NOT BE FURTHER DISTURBED WITHIN 14 CALENDAR DATES (7 DAYS FOR CONSTRUCTION SITES THAT EITHER DIRECTLY DISCHARGE TO ONE OF THE 3000+ WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT OR ARE LOCATED WITHIN ONE OF THE WATERSHEDS LISTED IN APPENDIX C OF THE GENERAL PERMIT), SHALL BE TEMPORARILY SEEDED WITHIN 24 HOURS OF DISTURBANCE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) EROSION AND SEDIMENT CONTROL GUIDELINES AND THE AMERICAN BEST MANAGEMENT PRACTICES FOR TREE AND SHRUB PLANTING, TRANSPLANTING, MAINTENANCE AND CARE\* PREPARED BY THE INTERNATIONAL SOCIETY OF AGRICULTURE (ISA), LATEST EDITIONS, AS FOLLOWS:
    - SEED MIXTURE AND RATE OF APPLICATION
    - IN SPRING, SUMMER OR EARLY FALL, SEED THE AREA WITH HYBRIDS (ANNUAL OR PERENNIAL) AT 30 POUNDS PER ACRE (APPROXIMATELY 0.7 POUNDS/1000 SQUARE FEET) OR USE 1 POUND/1000 SQUARE FEET. IN LATE FALL OR EARLY WINTER, SEED THE AREA WITH COVERED "ARROWSTOCK" WHEAT RYE (CERIAL RYE) AT 100 POUNDS PER ACRE (2.5 POUNDS/1000 SQUARE FEET).
    - APPLICATION SHALL BE UNIFORM BY MECHANICAL OR HYDROSEED METHODS.
    - MULCH ALL SEEDED AREAS WITH STRAW AT A RATE OF 2 TONS PER ACRE (50 POUNDS PER 1000 SQUARE FEET) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
    - ALL SEEDING AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED AS NECESSARY TO MAINTAIN PROGRESS, DENSE VEGETATIVE COVER.
    - TEMPORARY SEED MIXTURES SHALL NOT BE PLACED ON AREAS WHERE FINAL GRADE HAS BEEN ESTABLISHED AND TOPSOIL HAS BEEN PLACED UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT.
    - SEQUENCE OF CONSTRUCTION IS DEPICTED ON DRAWING C-402.
    - VEGETATIVE WASTE FROM INVASIVE SPECIES SHALL BE GROUND AND CHIPPED TO BE COMPOSTED AT AN OFF-SITE LOCATION. THE COMPOSTING PROCESS INVOLVES HIGH TEMPERATURES, WHICH KILL SEEDS AND ROOT STOCK OF INVASIVE SPECIES. CHIPPED WASTE SHALL NOT BE REUSED OR RECYCLED FROM OTHER PROCESSING AREAS TO AVOID CROSS-CONTAMINATION AND WATERWAYS SHALL BE PROTECTED FROM ANY FERTILIZER OR PESTICIDE PRIOR TO REMOVAL, AS HERBICIDE RESIDUE CAN CONTAMINATE THE COMPOSTED SITE AND STOCKPILE AREAS.
    - APPROXIMATELY 1.53 ACRES OF WOOLAND AREA WILL BE CLEARED.

- TABLE OF SOIL RESTORATION REQUIREMENTS NOTES:**
- AERATION INCLUDES THE USE OF MACHINES SUCH AS TRACTOR-DRAWN IMPLEMENTS WITH COOLER MAKING A NARROW SLIT IN THE SOIL, A ROLLER WITH MANY SPINES MAKING INDENTATIONS IN THE SOIL, OR PULVING WHICH FUNCTION LIKE A MINI-SUBSOILER.
  - FOR "KEEP RIPPING AND DE-COMPACTION, NYSEC 2008"

APPLICANT: PUTNAM SEABURY PARTNERS, L.P.  
 287 KING STREET, CHAPPAQUA, NY 10514

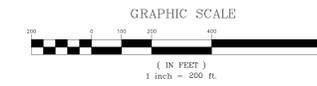
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BELLEVILLE ROAD - WATSON, NY 13594  
 voice 914.233.5253 fax 914.272.2192 www.jmcinc.com

EROSION & SEDIMENT CONTROL PLAN 'D'  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Scale: 1" = 50'  
 Date: 11/06/2017  
 Project No: 14012  
 Drawn: KSM Approved: RJP  
 Checked: SMC  
 C-404





LEGEND	
<span style="color: purple;">—</span>	PHASE 1A
<span style="color: yellow;">—</span>	PHASE 1B
<span style="color: green;">—</span>	PHASE 1C
<span style="color: blue;">—</span>	PHASE 2A
<span style="color: orange;">—</span>	PHASE 2B
<span style="color: pink;">—</span>	PHASE 2C

DISTURBANCE AREA TABLE	
PHASE	DISTURBANCE AREA (ACRES)
PHASE 1A	17.6 ACRES
PHASE 1B	12.3 ACRES
PHASE 1C	21.7 ACRES
PHASE 2A	1.5 ACRES
PHASE 2B	25.2 ACRES
PHASE 2C	34.3 ACRES
TOTAL	112.6 ACRES

**NOTES**  
 1. THE PHASING LINES DEPICTED ON THIS PHASING PLAN ARE A REPRESENTATION OF THE LIMIT OF DISTURBANCE FOR THE COMMERCIAL CAMPUS AT FIELDS CORNER.

No.	Revision	Date
1.	REVISED PER TOWN COMMENTS	05/07/2019
2.	REVISED PER FEES COMMENTS	11/18/2019
3.	REVISED PER NYCDOT COMMENTS	06/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 KING STREET  
 CHAPPAQUA, NY 10514

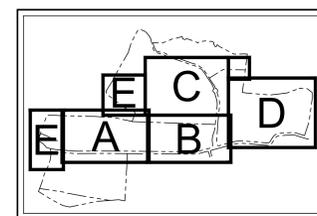
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 JMC Site Development Consultants, LLC  
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 120 BEGFORD ROAD • ARMONK, NY 10504  
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 www.jmcplc.com



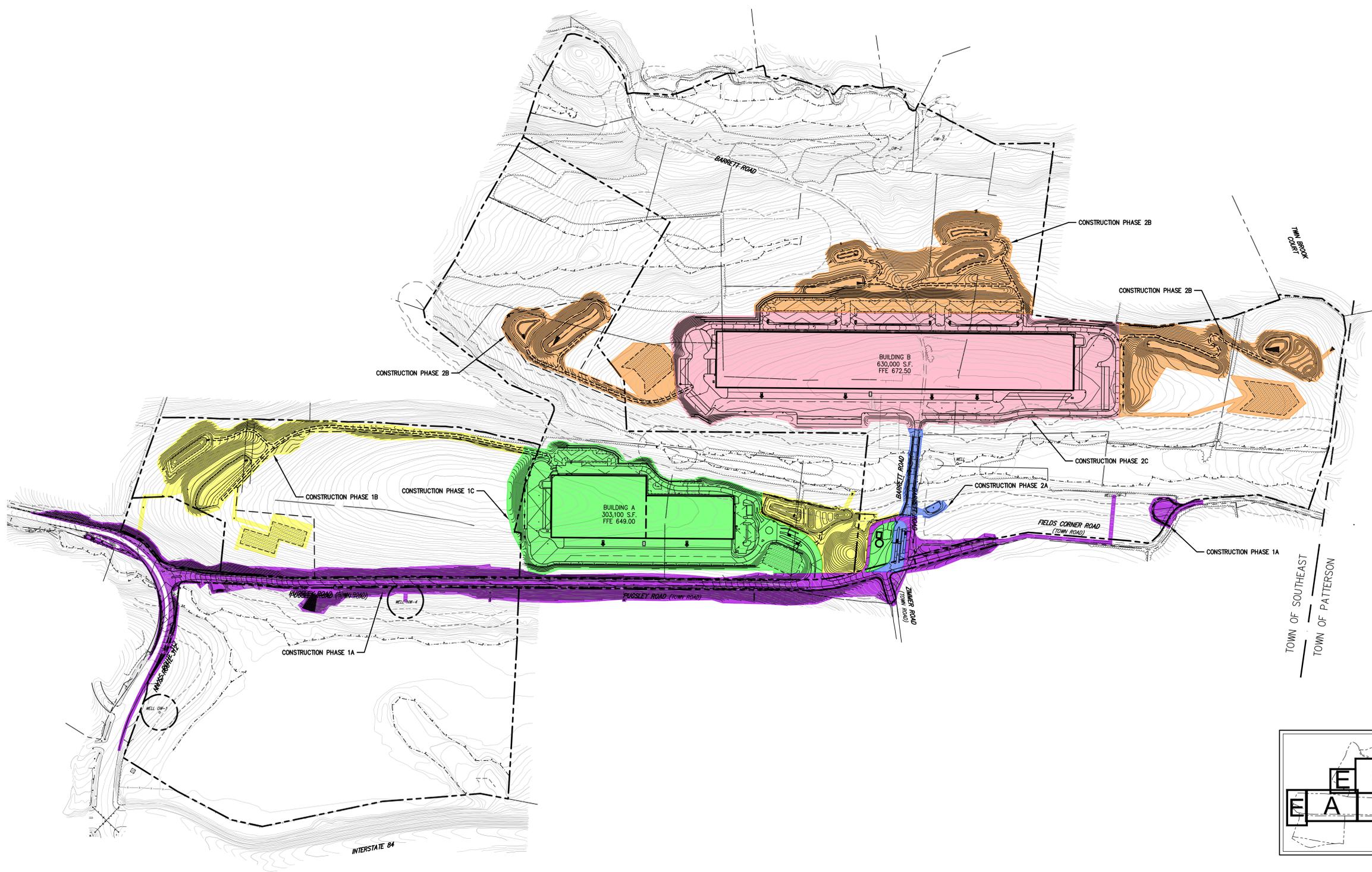
**OVERALL PHASING PLAN**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KSM	Approved: RJP
Scale: 1" = 200'	
Date: 03/18/2019	
Project No: 14012	
Sheet No: C-410	



**KEY MAP**  
 SCALE: 1" = 1,500'



NOT FOR CONSTRUCTION

CONTRACT NO. 15012-01-001  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK  
 DATE: 03/18/2019  
 PROJECT NO: 14012

GENERAL NOTES

- 1. EXISTING CONDITIONS DEPicted ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAEY & WATSON, SURVEYING AND ENGINEERING, P.C.
2. DRAWINGS C-401 TO C-405 ARE PROVIDED FOR TEMPORARY EROSION AND SEDIMENT CONTROL INFORMATION ONLY.
3. PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE PLANS AND SPECIFICATIONS...

CONSTRUCTION PHASE 1A

- CONSTRUCTION PHASE 1A (417.6 AC.) - PUGSLEY ROAD WIDENING, ROUTE 312 AND PUGSLEY ROAD INTERSECTION ROADWAY IMPROVEMENTS, BARRETT ROAD TURNAROUND LOOP, PUGSLEY ROAD TURNAROUND, BIORETENTION AREA 3B-1-2C (UTILIZING TEMPORARY STOCKPILE AREAS 1 AND 2 AND STAGING AREA 1)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 1B

- CONSTRUCTION PHASE 1B (412.3 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 4A-1 AND 3B-1, CONSTRUCTION DITCH 3B-1A & STORMWATER MANAGEMENT AREAS 3B-1 AND 4A-1 BASINS, CONSTRUCT BIORETENTION AREA 3B-1-2C, INSTALL BUILDING A NORTHERN & SOUTHERN SEPTIC AREAS (UTILIZING TEMPORARY STOCKPILE AREA 2 AND 2 AND STAGING AREAS 1 AND 2)
1. ESTABLISH STABILIZED CONSTRUCTION ACCESS AND UTILIZE STAGING AREAS 1 AND 2 INITIALLY IN LOCATION AS INDICATED ON THE PLAN.

CONSTRUCTION PHASE 1C

- CONSTRUCTION PHASE 1C (421.7 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 6 AND 7, CONSTRUCT CONSTRUCTION DITCHES 6A, 6B, 7A, 7B AND 3B-1B, CONSTRUCT BUILDING A DEVELOPMENT AREA, CONSTRUCT WATER BUILDING AND WATER TANK, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS, UTILIZING TEMPORARY STOCKPILE AREA 3 AND STAGING AREAS 1, 2 AND 3)
1. UTILIZE STABILIZED CONSTRUCTION ENTRANCE, MAINTAIN A PORTION OF STAGING AREA 1. SET UP STAGING AREAS 2 AND 3 AS CONSTRUCTION PROGRESSES.

CONSTRUCTION PHASE 2A

- CONSTRUCTION PHASE 2A (413.5 AC.) - BARRETT ROAD CONSTRUCTION, CONSTRUCT BIORETENTION AREA 3B-1-2D, REMOVAL OF INVASIVE SPECIES ALONG WETLAND AND WETLAND BUFFER (UTILIZING TEMPORARY STOCKPILE AREA 4 AND STAGING AREA 4)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2B

- CONSTRUCTION PHASE 2B (425.2 AC.) - CONSTRUCT TEMPORARY SEDIMENT TRAP 1 AND 2, CONSTRUCT TEMPORARY SEDIMENT BASINS 5A-1, 5B-1, 4 AND 5, CONSTRUCT CONSTRUCTION DITCHES 1A, 1B, 2A, 2B, 5A-1A, 5A-1B, 5B-1A, 5B-1B, 4A, 4B, 5A AND 5B, CONSTRUCT STORMWATER MANAGEMENT AREAS 1A-1, 1B-1, 1B-3, 5B-1 AND 5A-1 BASINS, INSTALL BUILDING B NORTHERN & SOUTHERN SEPTIC AREAS, COMMENCE UPLAND HABITAT RESTORATION (UTILIZING TEMPORARY STOCKPILE AREAS 5, 6, 7 AND 8 AND STAGING AREAS 5, 6 AND 7)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2C

- CONSTRUCTION PHASE 2C (434.3 AC.) - CONSTRUCT BUILDING B DEVELOPMENT AREA, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS (UTILIZING TEMPORARY STOCKPILE AREAS 4, 6, AND 7 AND STAGING AREAS 4, 5, 6, 7 AND 8)
1. UTILIZE STAGING AREAS 4, 5, 6, 7, AND 8 AS NEEDED.

CONSTRUCTION PHASE 1A

- CONSTRUCTION PHASE 1A (417.6 AC.) - PUGSLEY ROAD WIDENING, ROUTE 312 AND PUGSLEY ROAD INTERSECTION ROADWAY IMPROVEMENTS, BARRETT ROAD TURNAROUND LOOP, PUGSLEY ROAD TURNAROUND, BIORETENTION AREA 3B-1-2C (UTILIZING TEMPORARY STOCKPILE AREAS 1 AND 2 AND STAGING AREA 1)
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CONSTRUCTION PHASE 1B

- CONSTRUCTION PHASE 1B (412.3 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 4A-1 AND 3B-1, CONSTRUCTION DITCH 3B-1A & STORMWATER MANAGEMENT AREAS 3B-1 AND 4A-1 BASINS, CONSTRUCT BIORETENTION AREA 3B-1-2C, INSTALL BUILDING A NORTHERN & SOUTHERN SEPTIC AREAS (UTILIZING TEMPORARY STOCKPILE AREA 2 AND 2 AND STAGING AREAS 1 AND 2)
1. ESTABLISH STABILIZED CONSTRUCTION ACCESS AND UTILIZE STAGING AREAS 1 AND 2 INITIALLY IN LOCATION AS INDICATED ON THE PLAN.

CONSTRUCTION PHASE 1C

- CONSTRUCTION PHASE 1C (421.7 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 6 AND 7, CONSTRUCT CONSTRUCTION DITCHES 6A, 6B, 7A, 7B AND 3B-1B, CONSTRUCT BUILDING A DEVELOPMENT AREA, CONSTRUCT WATER BUILDING AND WATER TANK, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS, UTILIZING TEMPORARY STOCKPILE AREA 3 AND STAGING AREAS 1, 2 AND 3)
1. UTILIZE STABILIZED CONSTRUCTION ENTRANCE, MAINTAIN A PORTION OF STAGING AREA 1. SET UP STAGING AREAS 2 AND 3 AS CONSTRUCTION PROGRESSES.

CONSTRUCTION PHASE 2A

- CONSTRUCTION PHASE 2A (413.5 AC.) - BARRETT ROAD CONSTRUCTION, CONSTRUCT BIORETENTION AREA 3B-1-2D, REMOVAL OF INVASIVE SPECIES ALONG WETLAND AND WETLAND BUFFER (UTILIZING TEMPORARY STOCKPILE AREA 4 AND STAGING AREA 4)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2B

- CONSTRUCTION PHASE 2B (425.2 AC.) - CONSTRUCT TEMPORARY SEDIMENT TRAP 1 AND 2, CONSTRUCT TEMPORARY SEDIMENT BASINS 5A-1, 5B-1, 4 AND 5, CONSTRUCT CONSTRUCTION DITCHES 1A, 1B, 2A, 2B, 5A-1A, 5A-1B, 5B-1A, 5B-1B, 4A, 4B, 5A AND 5B, CONSTRUCT STORMWATER MANAGEMENT AREAS 1A-1, 1B-1, 1B-3, 5B-1 AND 5A-1 BASINS, INSTALL BUILDING B NORTHERN & SOUTHERN SEPTIC AREAS, COMMENCE UPLAND HABITAT RESTORATION (UTILIZING TEMPORARY STOCKPILE AREAS 5, 6, 7 AND 8 AND STAGING AREAS 5, 6 AND 7)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2C

- CONSTRUCTION PHASE 2C (434.3 AC.) - CONSTRUCT BUILDING B DEVELOPMENT AREA, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS (UTILIZING TEMPORARY STOCKPILE AREAS 4, 6, AND 7 AND STAGING AREAS 4, 5, 6, 7 AND 8)
1. UTILIZE STAGING AREAS 4, 5, 6, 7, AND 8 AS NEEDED.

CONSTRUCTION PHASE 1A

- CONSTRUCTION PHASE 1A (417.6 AC.) - PUGSLEY ROAD WIDENING, ROUTE 312 AND PUGSLEY ROAD INTERSECTION ROADWAY IMPROVEMENTS, BARRETT ROAD TURNAROUND LOOP, PUGSLEY ROAD TURNAROUND, BIORETENTION AREA 3B-1-2C (UTILIZING TEMPORARY STOCKPILE AREAS 1 AND 2 AND STAGING AREA 1)
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CONSTRUCTION PHASE 1B

- CONSTRUCTION PHASE 1B (412.3 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 4A-1 AND 3B-1, CONSTRUCTION DITCH 3B-1A & STORMWATER MANAGEMENT AREAS 3B-1 AND 4A-1 BASINS, CONSTRUCT BIORETENTION AREA 3B-1-2C, INSTALL BUILDING A NORTHERN & SOUTHERN SEPTIC AREAS (UTILIZING TEMPORARY STOCKPILE AREA 2 AND 2 AND STAGING AREAS 1 AND 2)
1. ESTABLISH STABILIZED CONSTRUCTION ACCESS AND UTILIZE STAGING AREAS 1 AND 2 INITIALLY IN LOCATION AS INDICATED ON THE PLAN.

CONSTRUCTION PHASE 1C

- CONSTRUCTION PHASE 1C (421.7 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 6 AND 7, CONSTRUCT CONSTRUCTION DITCHES 6A, 6B, 7A, 7B AND 3B-1B, CONSTRUCT BUILDING A DEVELOPMENT AREA, CONSTRUCT WATER BUILDING AND WATER TANK, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS, UTILIZING TEMPORARY STOCKPILE AREA 3 AND STAGING AREAS 1, 2 AND 3)
1. UTILIZE STABILIZED CONSTRUCTION ENTRANCE, MAINTAIN A PORTION OF STAGING AREA 1. SET UP STAGING AREAS 2 AND 3 AS CONSTRUCTION PROGRESSES.

CONSTRUCTION PHASE 2A

- CONSTRUCTION PHASE 2A (413.5 AC.) - BARRETT ROAD CONSTRUCTION, CONSTRUCT BIORETENTION AREA 3B-1-2D, REMOVAL OF INVASIVE SPECIES ALONG WETLAND AND WETLAND BUFFER (UTILIZING TEMPORARY STOCKPILE AREA 4 AND STAGING AREA 4)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2B

- CONSTRUCTION PHASE 2B (425.2 AC.) - CONSTRUCT TEMPORARY SEDIMENT TRAP 1 AND 2, CONSTRUCT TEMPORARY SEDIMENT BASINS 5A-1, 5B-1, 4 AND 5, CONSTRUCT CONSTRUCTION DITCHES 1A, 1B, 2A, 2B, 5A-1A, 5A-1B, 5B-1A, 5B-1B, 4A, 4B, 5A AND 5B, CONSTRUCT STORMWATER MANAGEMENT AREAS 1A-1, 1B-1, 1B-3, 5B-1 AND 5A-1 BASINS, INSTALL BUILDING B NORTHERN & SOUTHERN SEPTIC AREAS, COMMENCE UPLAND HABITAT RESTORATION (UTILIZING TEMPORARY STOCKPILE AREAS 5, 6, 7 AND 8 AND STAGING AREAS 5, 6 AND 7)
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CONSTRUCTION PHASE 2C

- CONSTRUCTION PHASE 2C (434.3 AC.) - CONSTRUCT BUILDING B DEVELOPMENT AREA, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS (UTILIZING TEMPORARY STOCKPILE AREAS 4, 6, AND 7 AND STAGING AREAS 4, 5, 6, 7 AND 8)
1. UTILIZE STAGING AREAS 4, 5, 6, 7, AND 8 AS NEEDED.

CONSTRUCTION PHASE 1A

- CONSTRUCTION PHASE 1A (417.6 AC.) - PUGSLEY ROAD WIDENING, ROUTE 312 AND PUGSLEY ROAD INTERSECTION ROADWAY IMPROVEMENTS, BARRETT ROAD TURNAROUND LOOP, PUGSLEY ROAD TURNAROUND, BIORETENTION AREA 3B-1-2C (UTILIZING TEMPORARY STOCKPILE AREAS 1 AND 2 AND STAGING AREA 1)
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- CONSTRUCTION PHASE 1B (412.3 AC.) - CONSTRUCT TEMPORARY SEDIMENT BASINS 4A-1 AND 3B-1, CONSTRUCTION DITCH 3B-1A & STORMWATER MANAGEMENT AREAS 3B-1 AND 4A-1 BASINS, CONSTRUCT BIORETENTION AREA 3B-1-2C, INSTALL BUILDING A NORTHERN & SOUTHERN SEPTIC AREAS (UTILIZING TEMPORARY STOCKPILE AREA 2 AND 2 AND STAGING AREAS 1 AND 2)
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1. UTILIZE STABILIZED CONSTRUCTION ENTRANCE, MAINTAIN A PORTION OF STAGING AREA 1. SET UP STAGING AREAS 2 AND 3 AS CONSTRUCTION PROGRESSES.

CONSTRUCTION PHASE 2A

- CONSTRUCTION PHASE 2A (413.5 AC.) - BARRETT ROAD CONSTRUCTION, CONSTRUCT BIORETENTION AREA 3B-1-2D, REMOVAL OF INVASIVE SPECIES ALONG WETLAND AND WETLAND BUFFER (UTILIZING TEMPORARY STOCKPILE AREA 4 AND STAGING AREA 4)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2B

- CONSTRUCTION PHASE 2B (425.2 AC.) - CONSTRUCT TEMPORARY SEDIMENT TRAP 1 AND 2, CONSTRUCT TEMPORARY SEDIMENT BASINS 5A-1, 5B-1, 4 AND 5, CONSTRUCT CONSTRUCTION DITCHES 1A, 1B, 2A, 2B, 5A-1A, 5A-1B, 5B-1A, 5B-1B, 4A, 4B, 5A AND 5B, CONSTRUCT STORMWATER MANAGEMENT AREAS 1A-1, 1B-1, 1B-3, 5B-1 AND 5A-1 BASINS, INSTALL BUILDING B NORTHERN & SOUTHERN SEPTIC AREAS, COMMENCE UPLAND HABITAT RESTORATION (UTILIZING TEMPORARY STOCKPILE AREAS 5, 6, 7 AND 8 AND STAGING AREAS 5, 6 AND 7)
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- CONSTRUCTION PHASE 2C (434.3 AC.) - CONSTRUCT BUILDING B DEVELOPMENT AREA, CONVERT TEMPORARY SEDIMENT BASINS INTO STORMWATER MANAGEMENT BASINS (UTILIZING TEMPORARY STOCKPILE AREAS 4, 6, AND 7 AND STAGING AREAS 4, 5, 6, 7 AND 8)
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- CONSTRUCTION PHASE 1A (417.6 AC.) - PUGSLEY ROAD WIDENING, ROUTE 312 AND PUGSLEY ROAD INTERSECTION ROADWAY IMPROVEMENTS, BARRETT ROAD TURNAROUND LOOP, PUGSLEY ROAD TURNAROUND, BIORETENTION AREA 3B-1-2C (UTILIZING TEMPORARY STOCKPILE AREAS 1 AND 2 AND STAGING AREA 1)
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1. UTILIZE STABILIZED CONSTRUCTION ENTRANCE, MAINTAIN A PORTION OF STAGING AREA 1. SET UP STAGING AREAS 2 AND 3 AS CONSTRUCTION PROGRESSES.

CONSTRUCTION PHASE 2A

- CONSTRUCTION PHASE 2A (413.5 AC.) - BARRETT ROAD CONSTRUCTION, CONSTRUCT BIORETENTION AREA 3B-1-2D, REMOVAL OF INVASIVE SPECIES ALONG WETLAND AND WETLAND BUFFER (UTILIZING TEMPORARY STOCKPILE AREA 4 AND STAGING AREA 4)
1. A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE REPRESENTATIVES OF THE TOWN OF SOUTHEAST AND THE NYCP.

CONSTRUCTION PHASE 2B

- CONSTRUCTION PHASE 2B (425.2 AC.) - CONSTRUCT TEMPORARY SEDIMENT TRAP 1 AND 2, CONSTRUCT TEMPORARY SEDIMENT BASINS 5A-1, 5B-1, 4 AND 5, CONSTRUCT CONSTRUCTION DITCHES 1A, 1B, 2A, 2B, 5A-1A, 5A-1B, 5B-1A, 5B-1B, 4A, 4B, 5A AND 5B, CONSTRUCT STORMWATER MANAGEMENT AREAS 1A-1, 1B-1, 1B-3, 5B-1 AND 5A-1 BASINS, INSTALL BUILDING B NORTHERN & SOUTHERN SEPTIC AREAS, COMMENCE UPLAND HABITAT RESTORATION (UTILIZING TEMPORARY STOCKPILE AREAS 5, 6, 7 AND 8 AND STAGING AREAS 5, 6 AND 7)
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1. UTILIZE STAGING AREAS 4, 5, 6, 7, AND 8 AS NEEDED.

Table with 4 columns: No., Description, Date, Revision. Contains revision history for the drawing.

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PUTNAM SEABURY PARTNERS, L.P. KING STREET CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC. John Meyer Consulting, Inc.

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PHASING/SEQUENCE OF CONSTRUCTION NOTES COMMERCIAL CAMPUS AT FIELDS CORNER TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2

NOT FOR CONSTRUCTION

PLANT SCHEDULE				
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
AR	1	Acer Rubrum / Red Sunset / Red Maple	#5 CONT.	B & B
BT	27	Acer Rubrum / Red Sunset / Red Maple	3" - 3 1/2" Cal.	B & B
BNT	6	Betula Nigra / Heritage / Heritage River Birch	7'-8" HT.	B & B
CK	2	Cornus Kousa / Kousa Dogwood	7'-8" HT.	B & B
LT	5	Lindolenia tulipifera / Tulip Tree	3" - 3 1/2" Cal.	B & B
NS	1	Nyssa Sylvatica / Black Tupelo	3" - 3 1/2" Cal.	B & B
PK	15	Prunus Serotina / Kwanzan / Kwanzan Cherry	2 1/2" - 3" CAL.	B & B
QAL	24	Quercus alba / White Oak	2 1/2" - 3" CAL.	B & B
QR	20	Quercus rubra / Red Oak	3" - 3 1/2" Cal.	B & B
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
IO	11	Ilex Opaca / American Holly	5'-6" HT.	B & B
JSM	48	Juniperus scopulorum / Rocky Mountain Juniper	0' - 7" HT.	B & B
JVA	49	Juniperus virginiana / Eastern Red Cedar	0' - 7" HT.	B & B
PGA	49	Picea glauca / White Spruce	0' - 7" HT.	B & B
POA	72	Picea Omorika / Serbian Spruce	0' - 7" HT.	B & B
PG	40	Picea pungens / Colorado Blue Spruce	0' - 7" HT.	B & B
PS	52	Pinus Strobus / White Pine	0' - 7" HT.	B & B
TG	27	Thuja occidentalis / Green Giant / Green Giant Arborvitae	0' - 7" HT.	B & B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
ASP	27	Aesculus pavia / Bottebrush Buckeye	5 gal	
AA	30	Aronia arbutifolia / Brilliantissima / Red Chokeberry	3" - 4" HT.	
HVS	28	Hamelis venalis / Spring Blooming Witchhazel	5 gal	
IGS	55	Ilex glabra / Shamrock / Compact Inkberry	3" - 4" HT.	
MP	3	Myrica pensylvanica / Northern Bayberry	5" - 6" HT.	
PRO	9	Physocarpus opulifolius / Korean Spine	5 gal	
PF	215	Potentilla fruticosa / Yellow Gem / Yellow Gem Potentilla	24" - 30" SPR.	
SYK	15	Symphoricarpos x 'Kocharm' / Charming Fantasy Snowberry	3 gal	
VA	38	Viburnum dentatum / Viburnum	5 gal	
VD	28	Viburnum dentatum / Arrowwood / Arrowwood Viburnum	5 gal	
VT	11	Viburnum Picatum tomentosum / Shasta / Doublefile Viburnum	5" - 6" HT.	B & B

SHRUB AREAS				
JP	QTY	BOTANICAL / COMMON NAME	CONT.	ROOT COND. / REMARKS
JP	50	Juniperus davurica / Parsoni / Parson's Juniper	4" pot	
	118	Juniperus davurica / Parsoni / Parson's Juniper	FLAT @ 65" O.C.	
	18	Juniperus davurica / Parsoni / Parson's Juniper	flat	
JGO	7	Juniperus virginiana / Grey Owl / Eastern Redcedar	3 gal	
LC	316	Lonicera sempervirens / Coral Honeysuckle	1 gal	
PO	103	Parthenocissus quinquefolia / Virginia Creeper	4" pot	
RGL	5	Rhus aromatica / Gro-Low / Gro-Low Fragrant Sumac	3 gal	
SL	27	Schizachyrium scoparium / Little Bluestem Grass	1 gal	
SA	35	Sedum x Autumn Joy / Autumn Joy Sedum	1 gal	
GROUND COVERS				
HO	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
HO	114	Hemerocallis x Stella de Oro / Stella de Oro Daylily	2 gal	
	35	Hemerocallis x Stella de Oro / Stella de Oro Daylily	FLAT @ 28" O.C.	
NSM	402,993 sf	Native Steep Slope Mix with Annual Ryegrass / Native Steep Slope Mix	seed	See note 1
WFM	429,997 sf	Native Upland Wildlife Forage & Cover Meadow Mix / Wildlife Forage & Cover Meadow Mix	seed	See note 3
QEM	391,273 sf	Quick Erosion Control Cover Mix / Erosion Control Mix	seed	See note 2

**PLANT SCHEDULE NOTES:**

1. NSM, NATIVE STEEP SLOPE MIX #1 ANNUAL RYEGRASS (ERNKY-181); 31.9% SORGHASTRUM MUTANS, NYA ECOTYPE (INDIANGRASS, NYA ECOTYPE); 20.0% CLOVER MULTIFLORUM (ANNUAL RYEGRASS); 10.0% ELYMUS VIRGIDUS, PA ECOTYPE (WILSON WILDFE, PA ECOTYPE); 9.0% ANDROPOGON SPERMIS, NADAGA (BIG BLUESTEM, NADAGA); 7.0% ELYMUS CANADENSIS (CANADA WILDFE); 6.0% AGROSTIS PENNENSIS, ALBANY PINE BRUSH-NY ECOTYPE; 4.0% PANICUM VIRGATUM, NY ECOTYPE (SWITCHGRASS, NY ECOTYPE); 3.0% PANICUM CLANDESTINUM, TOGA (DEERTONGUE, TOGA); 2.0% SCHIZACHYRIUM SCOPARIUM, CAMPER (LITTLE BLUESTEM, CAMPER); 1.3% CHAMAECRISTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE); 1.2% TRIFOLIUM PURPLETOP; 1.0% COROPHUS LANCEOLATA (LANCEOLF) COSEPOIS; 1.0% RIBESONIA HIRTA, COASTAL PLAIN NC ECOTYPE (BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE); 0.7% HELIOPSIS HELIANTHODES, PA ECOTYPE (SUNFLOWER, PA ECOTYPE); 0.2% MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE); 0.1% ASTER LAEVIS, NY ECOTYPE (SMOOTH BLUE ASTER, NY ECOTYPE); 0.1% ASTER NOVAE-ANGIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE); 0.1% GEMM. CANADENSE, PA ECOTYPE (WHITE AVENS, PA ECOTYPE); 0.1% LYTHRIS SPICATA, HARRIS (DANCE FLOPPING STAKE (DANCE GAYHEADS), PA ECOTYPE); 0.1% PENSTEMON DIGITALIS, PA ECOTYPE; 0.1% PYROTHAUM TENELLUM; 0.1% SOLANUM JIMNEA, PA ECOTYPE; SEEDING RATE: 80 LB PER ACRE, OR 1 LB PER 1,000 SQ FT

2. QEM, QUICK EROSION CONTROL COVER MIX (ERNKY-104); 50.0% CLOVER MULTIFLORUM (ANNUAL RYEGRASS); 50.0% CLOVER PERENNE, PERENNIAL RYEGRASS, BLACKSTONE; SEEDING RATE: 50 LB PER ACRE

3. WFM, NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX (ERNKY-123); 34.9% ANDROPOGON SPERMIS, NADAGA (BIG BLUESTEM, NADAGA); 27.0% PANICUM VIRGATUM, NY ECOTYPE (SWITCHGRASS, NY ECOTYPE); 21.0% ELYMUS VIRGIDUS, PA ECOTYPE (WILSON WILDFE, PA ECOTYPE); 9.0% SORGHASTRUM MUTANS, NYA ECOTYPE (INDIANGRASS, NYA ECOTYPE); 3.0% RIBESONIA HIRTA, COASTAL PLAIN NC ECOTYPE (BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE); 2.0% CHAMAECRISTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE); 1.3% HELIOPSIS HELIANTHODES, PA ECOTYPE (SUNFLOWER, PA ECOTYPE); 1.0% COROPHUS LANCEOLATA (LANCEOLF) COSEPOIS; 0.4% SIDA CANADENSE, PA ECOTYPE (SHOWY TICKTREFOL, PA ECOTYPE); 0.1% MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE); 0.1% ASTER LAEVIS, NY ECOTYPE (SMOOTH BLUE ASTER, NY ECOTYPE); SEEDING RATE: 20 LB PER ACRE

**NOTES:**

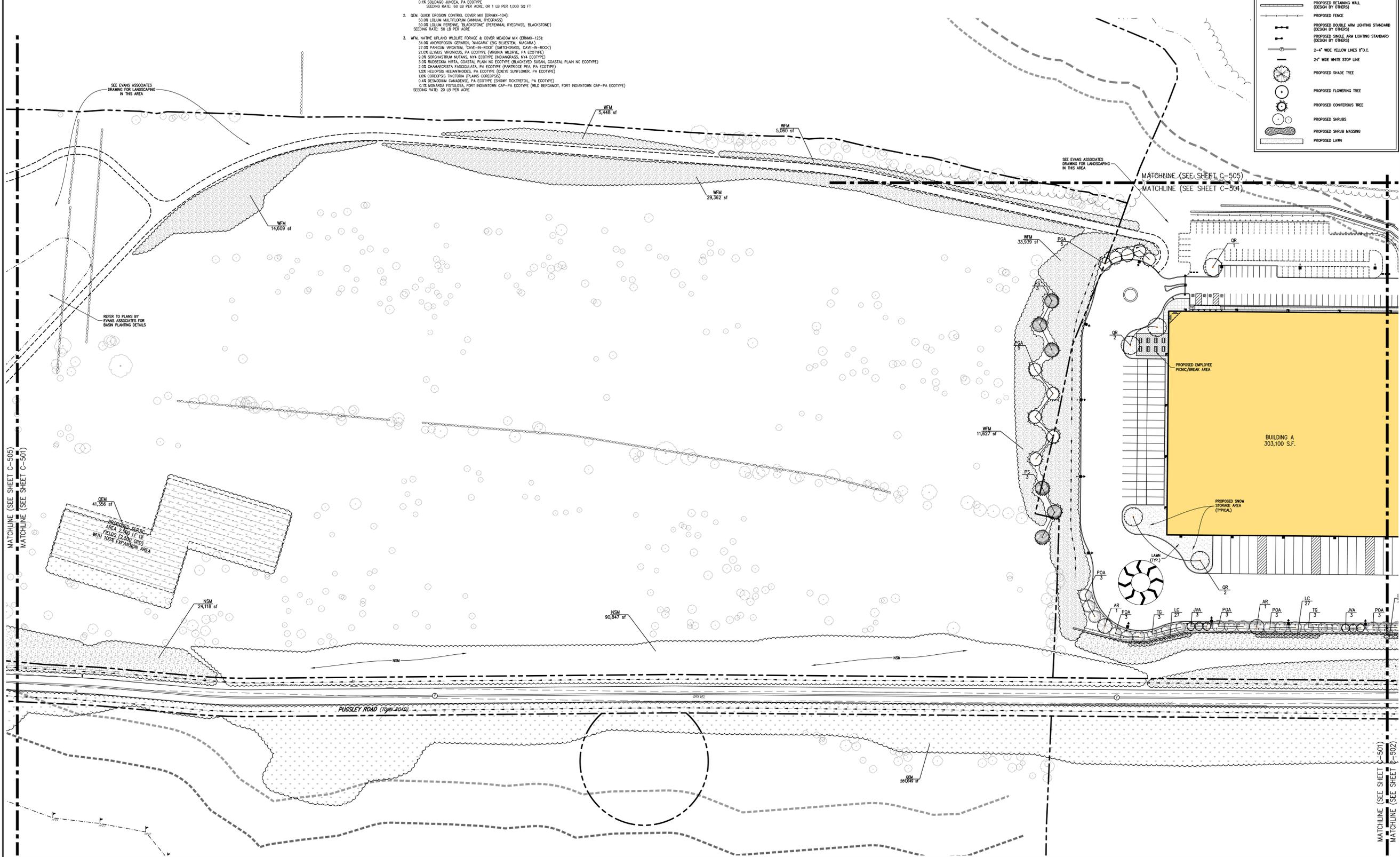
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DRIED, TONIC FREE, SPREADED HARDWOOD.
- PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING, GROWING SEASON.
- ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HAZT OF GROWTH, WITH STRONG TRUNKS OR STEMS, AND FREE FROM OBSTRUCTABLE DEFORMITIES. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY TREES AND SHRUBS WITH WELL-DEVELOPED SYMMETRICAL TOPS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
- ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.

**LEGEND:**

- EXISTING/PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING HYDREC WETLAND BUFFER
- EXISTING TOWN WELAND BUFFER
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING WETLAND LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING PAINT
- EXISTING UTILITY POLE
- PROPOSED WATER LINE
- PROPOSED BUILDING STORAGE TANK LINE
- PROPOSED SITE CURB
- PROPOSED FLUSH CURB
- PROPOSED NYSDOT CURB
- PROPOSED TREE LINE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED FENCE
- PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- 3"-4" WIDE YELLOW LINES 8' O.C.
- 24" WIDE WHITE STOP LINE
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED SHRUB MASSING
- PROPOSED LAWN

**KEY MAP:** SCALE: 1" = 1,500'

**GRAPHIC SCALE:** 1 inch = 50 ft.



**REVISIONS:**

No.	Date	Description
1.	05/17/2018	REVISED PER FEES COMMENTS
2.	05/18/2018	REVISED PER FEES COMMENTS
3.	11/18/2019	REVISED PER NYSDOT COMMENTS
4.	05/17/2020	REVISED PER NYSDOT COMMENTS

**APPROVALS:**

Drawn: KSM Approved: R.P.  
 Scale: 1" = 50'  
 Date: 11/06/2017  
 Project No: 14012  
 M2: LAND LAND A 3, LAND A  
 Drawing: C-501

**JMC**

**LANDSCAPING PLAN 'A'**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTH-EAST, NEW YORK

**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 0514

**ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.**

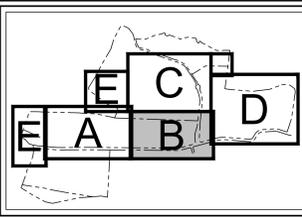
NOT FOR CONSTRUCTION

PLANT SCHEDULE				
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
AR	1	Acer Rubrum / Red Sunset / Red Maple	#5 CONT.	B & B
BNT	6	Betula Nigra / Heritage / Heritage River Birch	7'-8" HT.	B & B
CK	2	Cornus Kousa / Kousa Dogwood	7'-8" HT.	B & B
LT	2	Liriodendron tulipifera / Tulip Tree	3"-3 1/2" Cal.	B & B
NS	1	Nyssa Sylvatica / Black Tupelo	3"-3 1/2" Cal.	B & B
PK	15	Prunus Serotina / Kwanzan / Kwanzan Cherry	2 1/2" - 3" CAL.	B & B
QAL	24	Quercus alba / White Oak	2 1/2" - 3" CAL.	B & B
QR	20	Quercus rubra / Red Oak	3" - 3 1/2" Cal.	B & B
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
IO	11	Ilex Opaca / American Holly	5'-6" HT.	B & B
JSM	48	Juniperus scopulorum / Rocky Mountain Juniper	0' - 7' HT.	B & B
JVA	49	Juniperus virginiana / Eastern Red Cedar	0' - 7' HT.	B & B
PGA	49	Picea glauca / White Spruce	0' - 7' HT.	B & B
POA	72	Picea Omorika / Serbian Spruce	0' - 7' HT.	B & B
PG	40	Picea pungens / Colorado Blue Spruce	0' - 7' HT.	B & B
PS	52	Pinus Strobus / White Pine	0' - 7' HT.	B & B
TR	27	Taxus occidentalis / Green Giant / Green Giant Arborvitae	0' - 7' HT.	B & B
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND. / REMARKS
ASP	27	Aesculus pavia / Bottlebrush Buckeye	5 gal	
AA	30	Aronia arbutifolia / Brilliantissima / Red Chokeberry	3" - 4" HT.	
HVS	28	Hamelis vernalis / Spring Blooming Witchhazel	5 gal	
IGS	55	Ilex glabra / Shamrock / Compact Inkberry	3" - 4" HT.	
MP	3	Myrica pensylvanica / Northern Bayberry	5" - 6" HT.	
PSO	9	Physocarpus opulifolius / Ninespark	5 gal	
PF	215	Potentilla fruticosa / Yellow Gem / Yellow Gem Potentilla	24" - 30" SPR.	
SYK	15	Symphoricarpos / Kolkham / Charming Fantasy Snowberry	3 gal	
VA	38	Viburnum dentatum / Viburnum	5 gal	
VD	28	Viburnum dentatum / Arrowwood / Arrowwood Viburnum	5 gal	
VT	11	Viburnum plicatum tomentosum / Shasta / Doublefile Viburnum	6" - 6" HT.	B & B

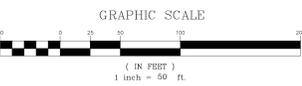
SHRUB AREAS				
JP	QTY	BOTANICAL / COMMON NAME	CONT.	ROOT COND. / REMARKS
JP	50	Juniperus davurica / Parson's / Parson's Juniper	4" pot	FLAT @ 65" O.C.
JP	118	Juniperus davurica / Parson's / Parson's Juniper	4" pot	FLAT @ 65" O.C.
JGQ	7	Juniperus virginiana / Grey Owl / Eastern Redcedar	5 gal	
LC	316	Lonicera sempervirens / Coral Honeysuckle	1 gal	
PQ	103	Parthenocissus quinquefolia / Virginia Creeper	4" pot	
RGL	5	Rhus aromatica / Gro-Low / Gro-Low Fragrant Sumac	3 gal	
RL	27	Schizachyrium scoparium / Little Bluestem Grass	1 gal	
SA	35	Sedum x Autumn Joy / Autumn Joy Sedum	1 gal	
GROUND COVERS				
HO	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
HO	114	Hemerocallis x Stella de Oro / Stella de Oro Daylily	2 gal	
HO	35	Hemerocallis x Stella de Oro / Stella de Oro Daylily	2 gal	FLAT @ 28" O.C.
NSM	402,993 sf	Native Steep Slope Mix with Annual Ryegrass / Native Steep Slope Mix	seed	See note 1
WFM	429,997 sf	Native Upland Wildlife Forage & Cover Meadow Mix / Wildlife Forage & Cover Meadow Mix	seed	See note 3
DEM	391,273 sf	Quick Erosion Control Cover Mix / Erosion Control Mix	seed	See note 2

- PLANT SCHEDULE NOTES:**
- NSM, NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNM-181):
    - 30.0% SORGHASTRUM NUTANS, NYK ECOTYPE (INDIANGRASS, NYK ECOTYPE)
    - 30.0% LOLUM MULTIFLORUM (ANNUAL RYEGRASS)
    - 10.0% ELYMUS VIRGIDUS, PA ECOTYPE (VIRGINIA WILDFE, PA ECOTYPE)
    - 10.0% ANDROPOGON GERARDI, NAGAKA (BIG BLUESTEM, NAGAKA)
    - 7.0% ELYMUS CANADENSIS (CANADA WILDFE)
    - 5.0% AGRISTIS PERENNANS, ALBANY PINE BUSH-NT ECOTYPE (ALBANY PINE BUSH-NT ECOTYPE)
    - 4.0% PANICUM VIRGATUM, NY ECOTYPE (CANTON GRASS, NY ECOTYPE)
    - 3.0% PANICUM GLANDOSTRUM, TOGA (DEERTONGUE, TOGA)
    - 2.0% SCHIZACHYRIUM SCOPARIUM, TAMPER (LITTLE BLUESTEM, TAMPER)
    - 1.3% CHAMAEPSIS FASCICULATA, PA ECOTYPE (PARTIODE PEA, PA ECOTYPE)
    - 1.2% CHAMAEPSIS PUBERULA (PURPLE CORNLEAF)
    - 1.2% TRIDENS FLAVUS (PURPLETOP)
  - DEM, QUICK EROSION CONTROL COVER MIX (ERNM-104):
    - 50.0% LOLUM MULTIFLORUM (ANNUAL RYEGRASS)
    - 50.0% LOLUM PRINCEI, BLACKSTONE (PERENNIAL RYEGRASS, BLACKSTONE)
    - SEEDING RATE: 50 LB PER ACRE
  - WFM, NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX (ERNM-123):
    - 24.0% ANDROPOGON GERARDI, NAGAKA (BIG BLUESTEM, NAGAKA)
    - 27.0% PANICUM VIRGATUM, NY ECOTYPE (CANTON GRASS, NY ECOTYPE)
    - 27.0% ELYMUS VIRGIDUS, PA ECOTYPE (VIRGINIA WILDFE, PA ECOTYPE)
    - 10.0% SORGHASTRUM NUTANS, NYK ECOTYPE (INDIANGRASS, NYK ECOTYPE)
    - 3.0% RUDRICKIA HIRTA, COASTAL PLAIN NC ECOTYPE (BLACKEYED SUSAN, COASTAL PLAIN NC ECOTYPE)
    - 2.0% CHAMAEPSIS FASCICULATA, PA ECOTYPE (PARTIODE PEA, PA ECOTYPE)
    - 1.0% HELIOPSIS HELIANTHOIDES, PA ECOTYPE (DIEYE SUNFLOWER, PA ECOTYPE)
    - 1.0% COROPHUS TINCTORIUM (PLAINS COROPHUS)
    - 0.4% DESMODIUM CANADENSE, PA ECOTYPE (CROWY TICKTREFOL, PA ECOTYPE)
    - 0.1% MONARDIA FISTULOSA, FORT INDIANUM GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANUM GAP-PA ECOTYPE)
    - SEEDING RATE: 20 LB PER ACRE

- NOTES:**
- ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVERS SHALL BE LAWN.
  - ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-SOILED, TONG FREE, SPREAD HATCHWOOD.
  - PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  - ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
  - ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENT AUTHORITIES HAVING JURISDICTION.
  - PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECTS EGGS, AND SHALL HAVE HEALTHY NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HEAVY, WELL-DEVELOPED SYMMETRICAL BRANCHES OF STEMS, AND FREE FROM UNDESIRABLE DISTORTIONS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TIPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY LINES AND GROUND COVER PLANTS, WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR TORNED HOMOGENEOUS SOIL MIXTURES SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATE CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  - ALL STOCK SHALL BE BALLED AND BURAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BARE ROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
  - ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.



**KEY MAP**  
SCALE: 1" = 1,500'



**LEGEND**

	EXISTING/SUBSIDED PROPERTY LINE
	PROPOSED SUBSIDED PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING SETBACK LINE
	EXISTING HWY/RD WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING WETLAND LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING TREE LINE
	EXISTING UTILITY POLE
	PROPOSED BUILDING LINE
	PROPOSED WATER STORAGE TANK LINE
	PROPOSED SITE CURB
	PROPOSED FLUSH CURB
	PROPOSED NYSDOT CURB
	PROPOSED TREE LINE
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED FENCE
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	3"-4" WIDE YELLOW LINES 6' O.C.
	24" WIDE WHITE STOP LINE
	PROPOSED SHADE TREE
	PROPOSED FLOWERING TREE
	PROPOSED CONIFEROUS TREE
	PROPOSED SHRUBS
	PROPOSED SHRUB MASSING
	PROPOSED LAWN

No.	Revision	Date	By	Appr.
1	DESIGN COMPLETENESS SUBMISSION	05/17/2018	KSM	
2	DESIGN COMPLETENESS SUBMISSION	05/18/2018	KSM	
3	REVISED PER FEES COMMENTS	11/18/2019	KSM	
4	REVISED PER NYSDOT COMMENTS	06/17/2020	KSM	

**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

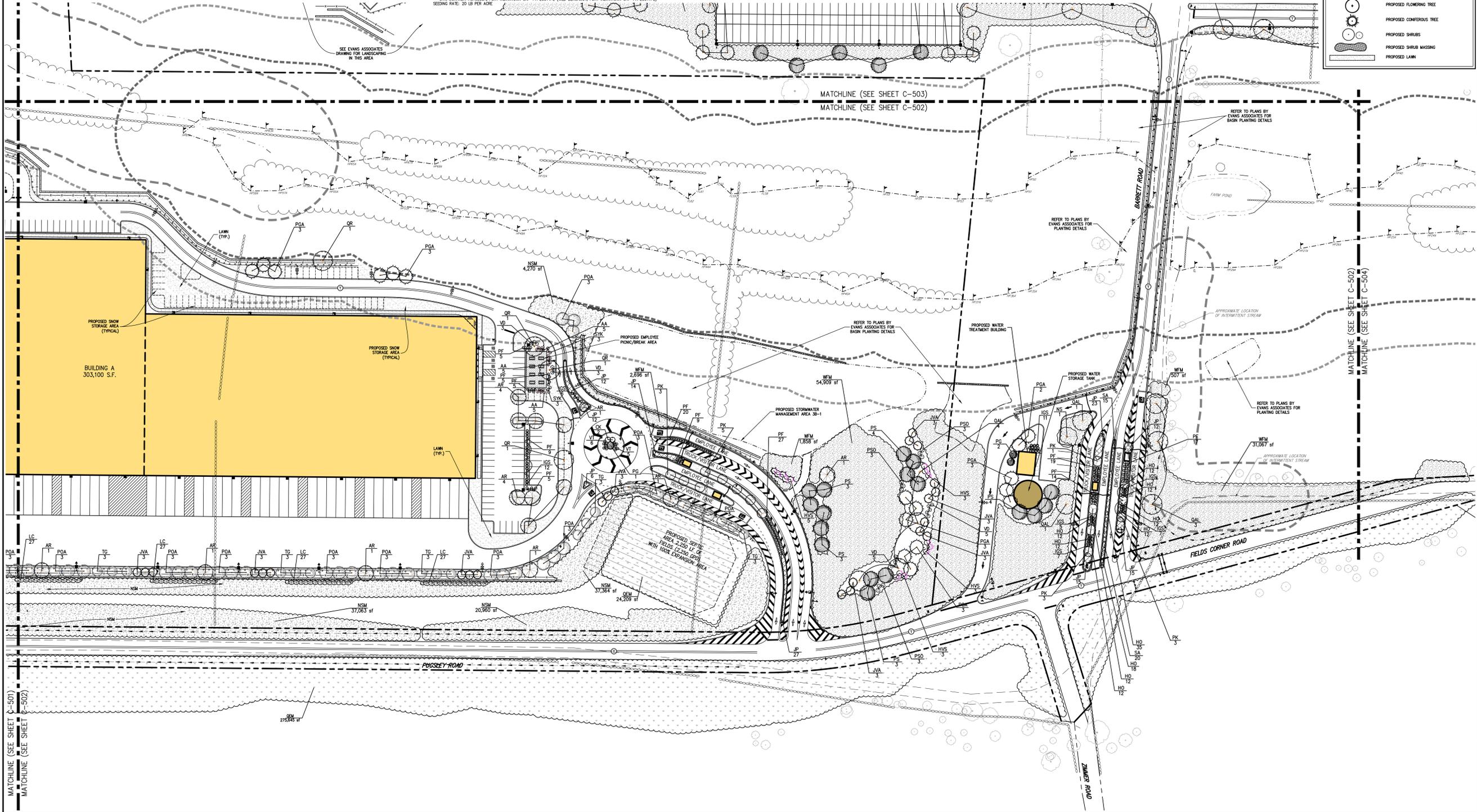
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
John Myers Consulting, Inc.  
120 BEAUFORT ROAD - ARBONIA, NY 05354  
voice 814.233.5253 - fax 814.272.2192  
www.jmccorp.com



**LANDSCAPING PLAN 'B'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

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Drawn	KSM	Approved	R.P.
Scale	1" = 50'		
Date	11/06/2017		
Project No.	14012		
Sheet No.	LAND B	of	LAND B
Sheet No.	<b>C-502</b>		

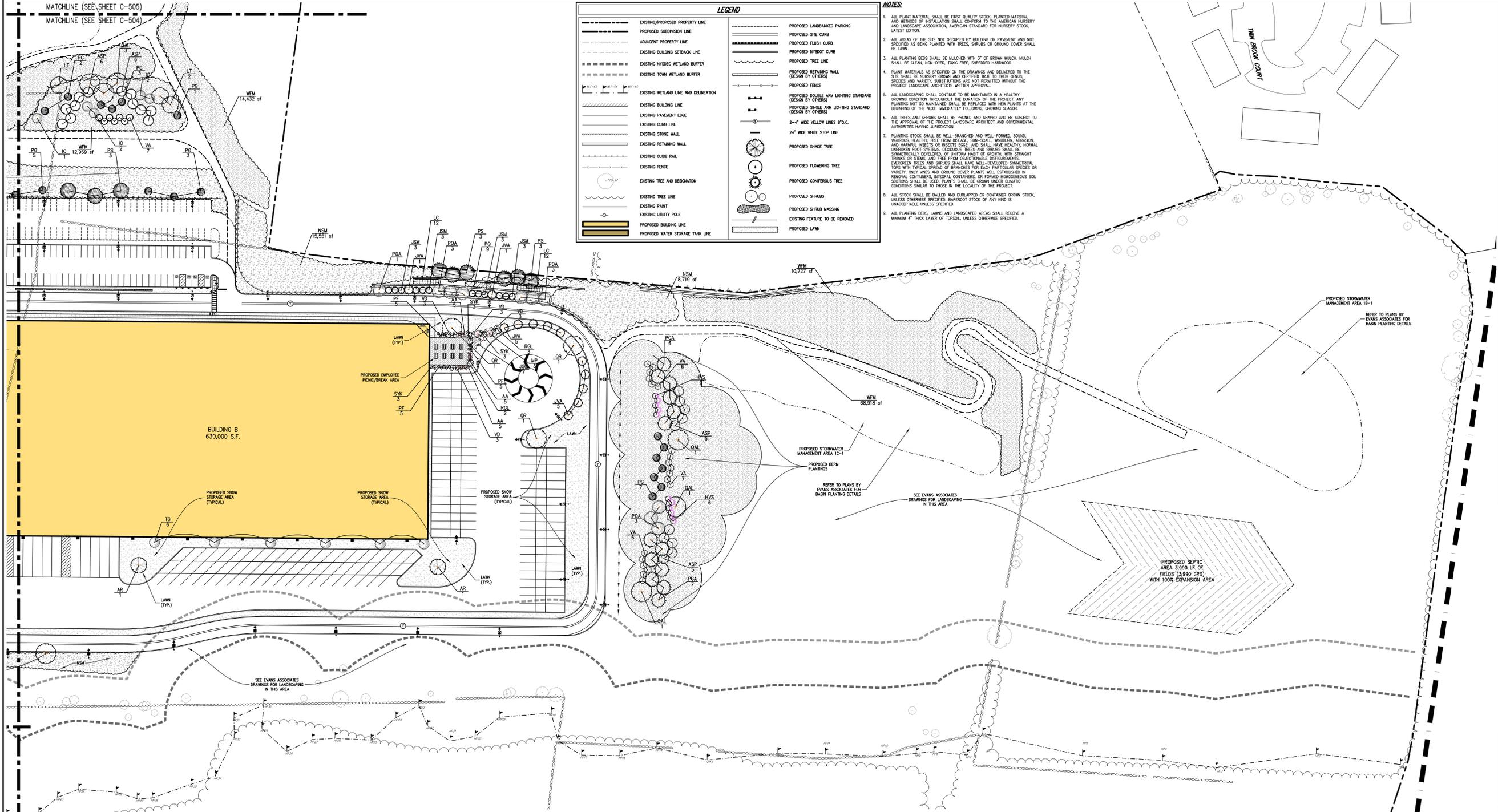


NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-501)  
MATCHLINE (SEE SHEET C-502)

275,000 SF





**LEGEND**

---	EXISTING/PROPOSED PROPERTY LINE	---	PROPOSED LANDSCAPING
---	PROPOSED SUBDIVISION LINE	---	PROPOSED SITE CURB
---	ADJACENT PROPERTY LINE	---	PROPOSED FLUSH CURB
---	EXISTING BUILDING SETBACK LINE	---	PROPOSED KYSDOT CURB
---	EXISTING WYSEC WETLAND BUFFER	---	PROPOSED TREE LINE
---	EXISTING TOWN WETLAND BUFFER	---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	EXISTING WETLAND LINE AND DELINEATION	---	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
---	EXISTING BUILDING LINE	---	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
---	EXISTING PAVEMENT EDGE	---	2'-4" WIDE YELLOW LINES 8" O.C.
---	EXISTING CURB LINE	---	24" WIDE WHITE STOP LINE
---	EXISTING STONE WALL	---	PROPOSED SHADE TREE
---	EXISTING RETAINING WALL	---	PROPOSED FLOWERING TREE
---	EXISTING GUIDE RAIL	---	PROPOSED CONFEROUS TREE
---	EXISTING FENCE	---	PROPOSED SHRUBS
---	EXISTING TREE AND DESIGNATION	---	PROPOSED SHRUB MASSING
---	EXISTING TREE LINE	---	EXISTING FEATURE TO BE REMOVED
---	EXISTING PAINT	---	PROPOSED LAWN
---	EXISTING UTILITY POLE	---	
---	PROPOSED BUILDING LINE	---	
---	PROPOSED WATER STORAGE TANK LINE	---	

- NOTES**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL, AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GRASS COVER SHALL BE LAWN.
  3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-OILED, TONK FREE, SHREDED WOODCHIPS.
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  5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT UNEXPECTEDLY FOLLOWING GROWING SEASON.
  6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
  7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBORN ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBJECTIONABLE DEFOLIATIONS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TIPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY WIRE AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTERNAL CONTAINERS, OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINERS GROWN STOCK, UNACCEPTABLE UNLESS SPECIFIED.
  9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL UNLESS OTHERWISE SPECIFIED.

NOT FOR CONSTRUCTION

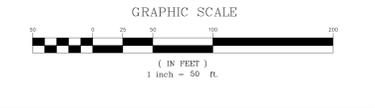
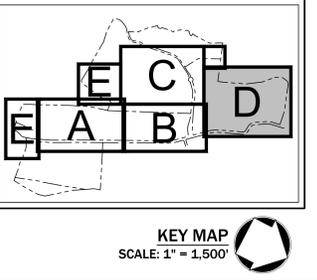
**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
AR	1	Acer Rubrum / Red Sunset / Red Maple	#5 CONT.	B & B	
AR	27	Acer Rubrum / Red Sunset / Red Maple	3" - 3 1/2" Cal.	B & B	
BNT	6	Betula Nigra / Heritage / Heritage River Birch	7'-8" HT.	B & B	
CK	2	Cornus Kousa / Kousa Dogwood	7'-8" HT.	B & B	
LT	1	Liriodendron tulipifera / Tulip Tree	3" - 3 1/2" Cal.	B & B	
NS	5	Nyssa Sylvatica / Black Tupelo	3" - 3 1/2" Cal.	B & B	
PK	15	Prunus Serotina / Kwanzan / Kwanzan Cherry	2 1/2" - 3" CAL.	B & B	
QAL	24	Quercus alba / White Oak	2 1/2" - 3" CAL.	B & B	
QR	20	Quercus rubra / Red Oak	3" - 3 1/2" Cal.	B & B	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
HO	11	Holly / American Holly	5'-6" HT.	B & B	
JSM	48	Juniperus scopulorum / Rocky Mountain Juniper	5' - 7' HT.	B & B	
JVA	49	Juniperus virginiana / Eastern Red Cedar	6' - 7' HT.	B & B	
PGA	40	Picea glauca / White Spruce	6' - 7' HT.	B & B	
POA	72	Picea Omorika / Serbian Spruce	6' - 7' HT.	B & B	
PG	40	Picea Purgens Glauca / Colorado Blue Spruce	6' - 7' HT.	B & B	
PS	52	Pinus Strobus / White Pine	6' - 7' HT.	B & B	
TG	27	Thuja occidentalis / Green Giant / Green Giant Arborvitae	6' - 7' HT.	B & B	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
ASP	27	Aesculus parviflora / Bottlebrush Buckeye	5 gal		
AA	30	Aronia arbutifolia / Brilliantissima / Red Chokeberry	3' - 4" HT.		
HVS	28	Hamelis vernalis / Spring Blooming Witchhazel	5 gal		
IGS	55	Ilex glabra / Shamrock / Compact Inkberry	3' - 4" HT.		
MP	3	Myrica pensylvanica / Northern Bayberry	5' - 6" HT.		
PSO	9	Physocarpus opulifolius / Himekaede	5 gal		
PF	215	Potentilla fruticosa / Yellow Gem / Yellow Gem Potentilla	24" - 30" SPR.		
SYK	15	Symphoricarpos x 'Kochcharm' / Charming Fantasy Snowberry	3 gal		
VA	38	Viburnum dentatum / Viburnum	5 gal		
VD	28	Viburnum dentatum / Arrowwood / Arrowwood Viburnum	5 gal		
VT	11	Viburnum Plicatum tomentosum / Shasta / Doublefile Viburnum	5' - 6" HT.	B & B	

**SHRUB AREAS**

JP	QTY	BOTANICAL / COMMON NAME	CONT	ROOT COND.	REMARKS
JP	50	Juniperus davurica / 'Parsonii' / Parson's Juniper	4" pot		
JP	118	Juniperus davurica / 'Parsonii' / Parson's Juniper	FLAT @ 65" O.C.		
JCO	7	Juniperus davurica / 'Parsonii' / Parson's Juniper	flat		
JCO	7	Juniperus virginiana / Grey Owl / Eastern Redcedar	3 gal		
LC	316	Lonicera sempervirens / Coral Honeyuckle	1 gal		
PQ	103	Parthenocissus quinquefolia / Virginia Creeper	4" pot		
RGL	5	Rhus aromatica / Gro-Low / Gro-Low Fragrant Sumac	3 gal		
SL	27	Schizachyrium scoparium / Little Bluestem Grass	1 gal		
SA	35	Sedum x Autumn Joy / Autumn Joy Sedum	1 gal		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS	
HO	114	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	2 gal		
HO	35	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	FLAT @ 28" O.C.		
NSM	402,993 sf	Native Steep Slope Mix with Annual Ryegrass / Native Steep Slope Mix	seed	See note 1	
WFM	429,997 sf	Native Upland Wildlife Forage & Cover Meadow Mix / Wildlife Forage & Cover Meadow Mix	seed	See note 3	
QEM	391,273 sf	Quick Erosion Control Cover Mix / Erosion Control Mix	seed	See note 2	

- PLANT SCHEDULE NOTES:**
1. NSM, NATIVE STEEP SLOPE MIX W/ ANNUAL RYEGRASS (ERNM-181):  
 31.2% SORGHASTRUM NUTANS, NY4 ECOTYPE (INDIANGRASS, NY4 ECOTYPE)  
 20.0% LOUIM MULTIFLORUM (ANNUAL RYEGRASS)  
 10.0% ELIMIS VIRGINICUS, PA ECOTYPE (VIRGINIA WILDFE, PA ECOTYPE)  
 20.0% LOUIM MULTIFLORUM (ANNUAL RYEGRASS)  
 7.0% ELIMIS CANADENSIS (CANADA WILDFE)  
 5.0% ALOPECURUS SPERMATOCYTES, ALBANY PINE BRUSH-NY ECOTYPE (ALBANY BENTGRASS, ALBANY PINE BRUSH-NY ECOTYPE)  
 4.0% PANICUM CLAMIDOSTACHYON, NY ECOTYPE (SPRINGTOWN, NY ECOTYPE)  
 3.0% PANICUM CLAMIDOSTACHYON, TOGA (DETROIT, TOGA)  
 2.0% SCHIZACHYRIUM SCOPARIUM, CAMPER (LITTLE BLUESTEM, CAMPER)  
 1.3% CHAMAECRISTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE)  
 1.2% TRIFOLIUM FLAVUM (PURPLETOP)  
 1.0% COREOPSIS LANCOLATA (LANCELEAF COREOPSIS)  
 1.0% RUBROCOCA HIRTA, COASTAL PLAIN NY ECOTYPE (BLACKEYED SUSAN, COASTAL PLAIN NY ECOTYPE)  
 0.7% HELIOPSIS HELIANTHODES, PA ECOTYPE (GREY SUNFLOWER, PA ECOTYPE)  
 0.5% ANEMONE PATENSIS, FORT INDIANTOWN GAP-PA ECOTYPE (WLD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)  
 0.1% ASTER LAEVIS, NY ECOTYPE (SMOOTH BLUE ASTER, NY ECOTYPE)  
 0.1% ASTER NOVAE-ANGLIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE)  
 0.1% GEUM CANADENSE, PA ECOTYPE (WHITE AVENS, PA ECOTYPE)  
 0.1% LACTUCA SPICATA (MARIKH) (GREEN ICEBERG STAR (SPRINKLE LEATHER), PA ECOTYPE)  
 0.1% PRONOTEMUM DIGITALE, PA ECOTYPE  
 0.1% PENTSTEMON TIBERIDIFOLIUM  
 0.1% SOLIDAGO JUNEA, PA ECOTYPE  
 SEEDING RATE: 60 LB PER ACRE, OR 1 LB PER 1,000 SQ FT
  2. QEM, QUICK EROSION CONTROL COVER MIX (ERNM-104):  
 50.0% LOUIM MULTIFLORUM (ANNUAL RYEGRASS)  
 50.0% LOUIM PEDICEL 'BLACKSTONE' (PERENNIAL RYEGRASS, BLACKSTONE)  
 SEEDING RATE: 50 LB PER ACRE
  3. WFM, NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX (ERNM-123):  
 24.0% ANDROPOGON GERARDI, NADARCA (BIG BUCKLEWHEAT, NADARCA)  
 21.0% PANICUM VIRGINICUS, PA ECOTYPE (VIRGINIA WILDFE, PA ECOTYPE)  
 21.0% ELIMIS VIRGINICUS, NY4 ECOTYPE (INDIANGRASS, NY4 ECOTYPE)  
 9.0% SORGHASTRUM NUTANS, NY4 ECOTYPE (SPRINGTOWN, NY ECOTYPE)  
 3.0% RUBROCOCA HIRTA, COASTAL PLAIN NY ECOTYPE (BLACKEYED SUSAN, COASTAL PLAIN NY ECOTYPE)  
 2.0% CHAMAECRISTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE)  
 1.5% HELIOPSIS HELIANTHODES, PA ECOTYPE (GREY SUNFLOWER, PA ECOTYPE)  
 1.0% COREOPSIS LANCOLATA (LANCELEAF COREOPSIS)  
 0.4% DESMODIUM CANADENSE, PA ECOTYPE (SHOW TICKTREFLE, PA ECOTYPE)  
 0.1% ANEMONE PATENSIS, FORT INDIANTOWN GAP-PA ECOTYPE (WLD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)  
 SEEDING RATE: 20 LB PER ACRE



**REVISIONS**

No.	Date	By	Rev.
1.	05/17/2018	KRM	REVISED PER FEES SUBMISSION
2.	05/18/2018	KRM	REVISED PER FEES SUBMISSION
3.	11/18/2019	KRM	REVISED PER INVOICE COMMENTS
4.	06/17/2020	KRM	REVISED PER INVOICE COMMENTS

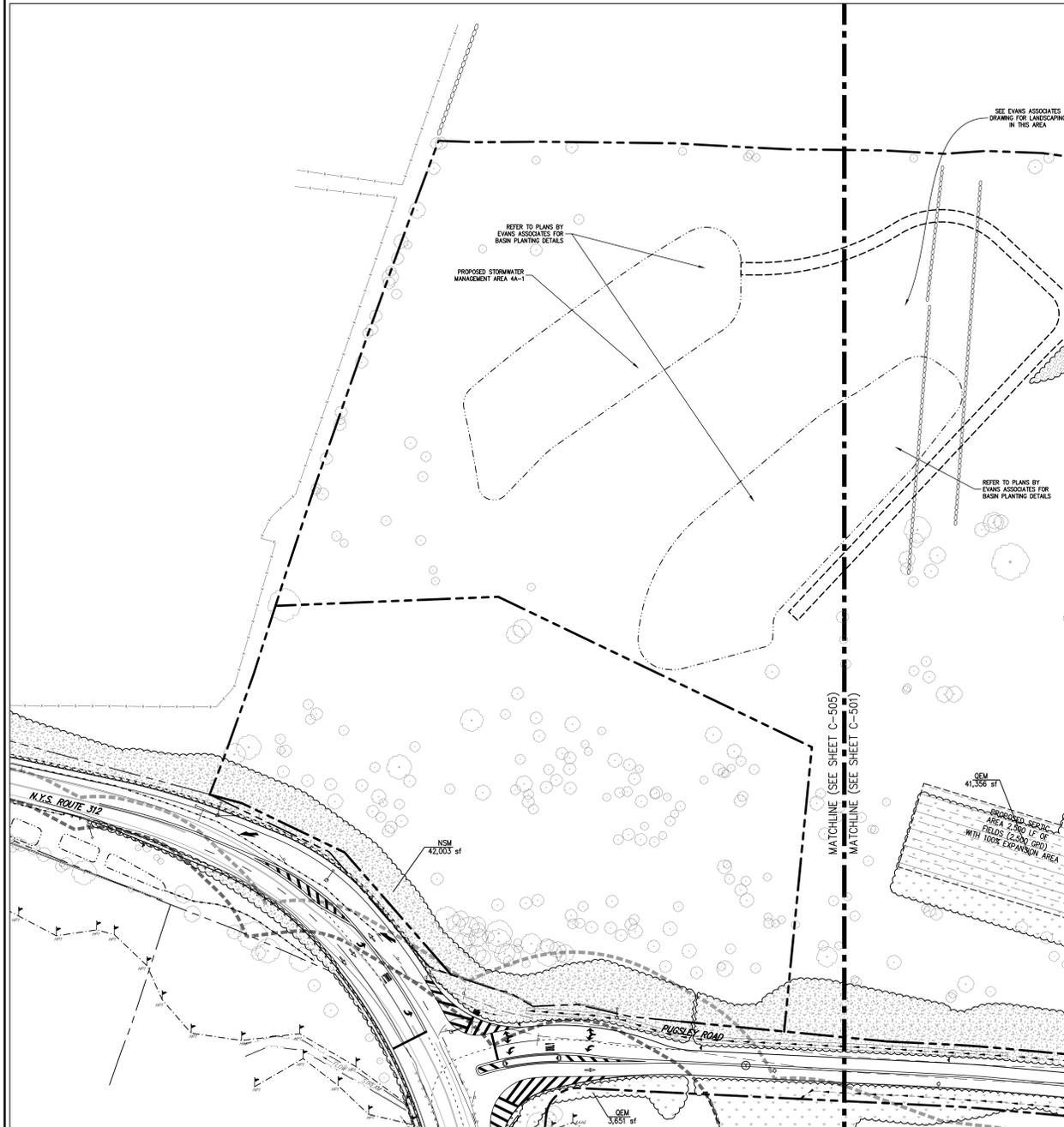
**APPLICANT/OWNER:** PUTNAM SEABURY PARTNERS, L.P.  
 287 KING STREET  
 CHAPPAQUA, NY 10514

**DESIGNER:** JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
 120 BEAUFORT ROAD - WATKINS, NY 13594  
 voice 518.273.5525 • fax 518.273.2192  
 www.jmcpllc.com

**LANDSCAPING PLAN 'D'**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

**ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209.5 SUBSECTION 2.**

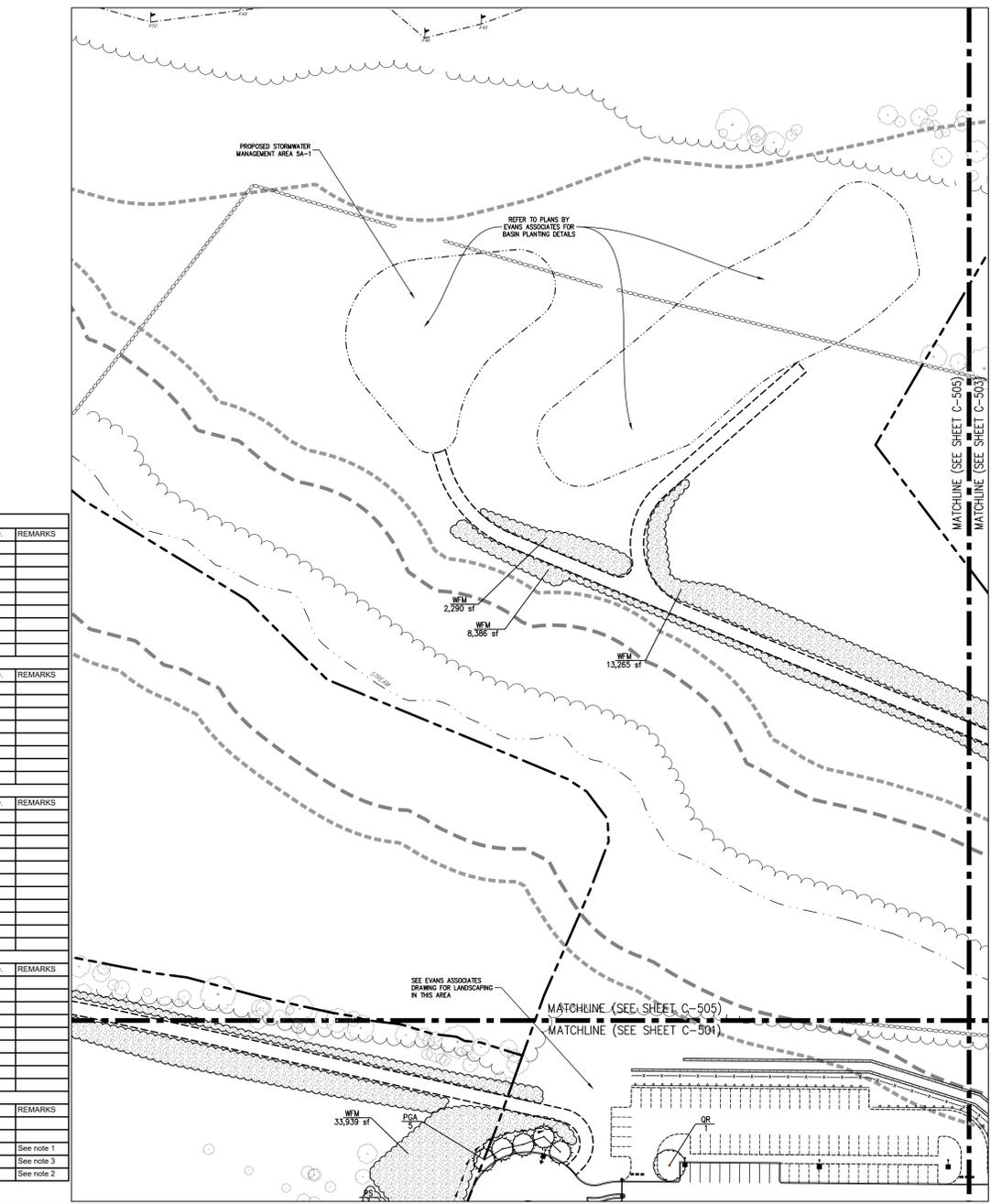
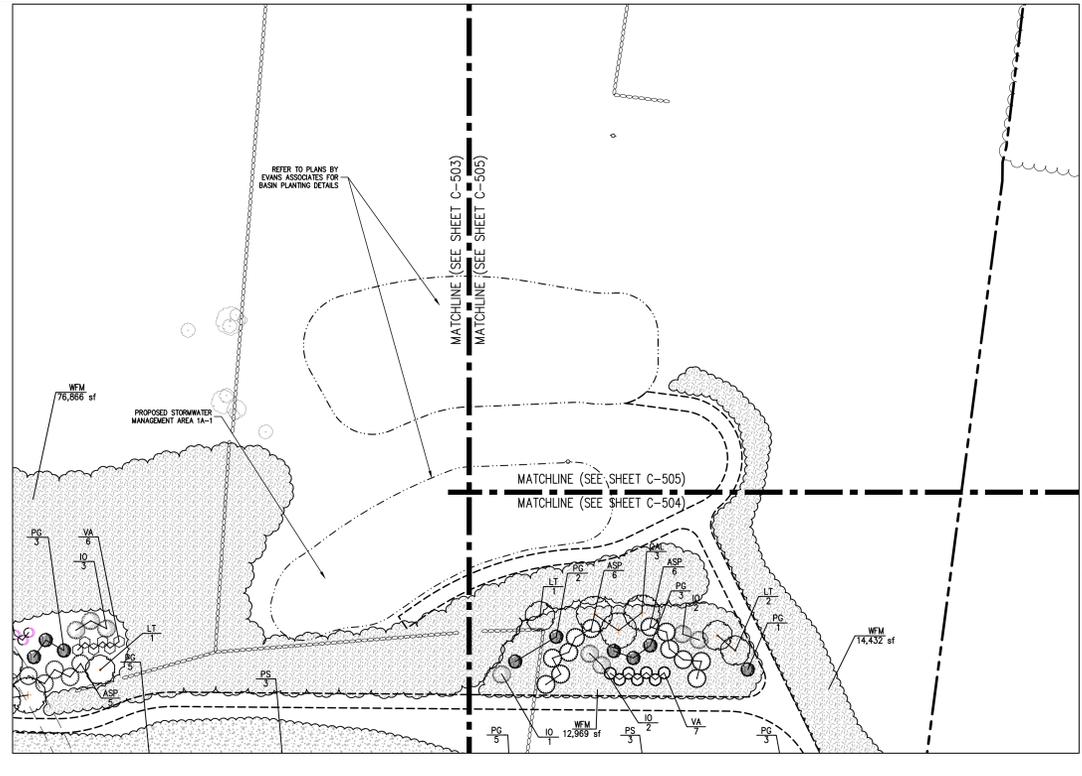
Drawn: KRM Approved: R.P.  
 Scale: 1" = 50'  
 Date: 11/06/2017  
 Project No: 14012  
 Hatched: LAND 3, UNLAND 0  
 Client: Putnam Seabury Partners, L.P.  
**C-504**



**LEGEND**

- EXISTING/PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING NYSDC WETLAND BUFFER
- EXISTING TOWN WETLAND BUFFER
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING PAINT
- EXISTING UTILITY POLE
- PROPOSED BUILDING LINE
- PROPOSED WATER STORAGE TANK LINE
- PROPOSED SITE CURB
- PROPOSED FLUSH CURB
- PROPOSED NYSDOT CURB
- PROPOSED TREE LINE
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED FENCE
- PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
- 2" 4" WIDE YELLOW LINES 8" O.C.
- 24" WIDE WHITE STOP LINE
- PROPOSED SHADE TREE
- PROPOSED FLOWERING TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED SHRUB MASSING
- PROPOSED LAWN

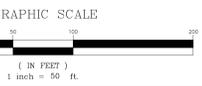
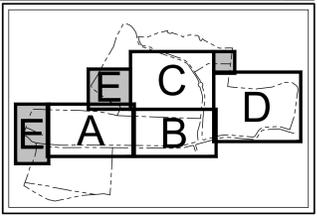
- NOTES**
1. ALL PLANT MATERIAL SHALL BE FIRST QUALITY STOCK, PLANTED MATERIAL AND METHODS OF INSTALLATION SHALL CONFORM TO THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN.
  3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" OF BROWN MULCH. MULCH SHALL BE CLEAN, NON-DYED, TOXIC FREE, SHREDED HARDWOOD.
  4. PLANT MATERIALS AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE NURSERY GROWN AND GROWN TO THEIR SPECIES, SPECIES AND VARIETY. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  5. ALL LANDSCAPING SHALL CONTINUE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON.
  6. ALL TREES AND SHRUBS SHALL BE PRUNED AND SHAPED AND BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
  7. PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, WORKING HEALTHY, FREE FROM DISEASE, SANSE, INHIBITORS, AFB, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL, UNBROKEN ROOT SYSTEMS. CONIFEROUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM QUESTIONABLE ESTABLISHMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS, WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY WELLS AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS OR FORMED HOMOGENEOUS SOIL SECTIONS SHALL BE USED. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
  8. ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, UNLESS OTHERWISE SPECIFIED. BAREROT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
  9. ALL PLANTING BEDS, LAWNS AND LANDSCAPED AREAS SHALL RECEIVE A MINIMUM 4" THICK LAYER OF TOPSOIL, UNLESS OTHERWISE SPECIFIED.



- PLANT SCHEDULE NOTES**
1. NSM, NATIVE STEEP SLOPE MIX W/ ANNUAL PREGRASS (ERNAK-181)  
 0.2% SORGHASTRUM NITENS, NY4 ECOTYPE (INDIANGRASS, NY4 ECOTYPE)  
 20.0% LULIUM MULTIFLORUM (ANNUAL PREGRASS)  
 0.0% ELIUM VIRGIDICUM, PA ECOTYPE (WIRGIDIA MILLET, PA ECOTYPE)  
 9.8% ANDROPOGON GERARDI, NIAGARA (BIG BLUESTEM, NIAGARA)  
 7.0% ELIUM CANADENSE (CANADA WHEAT)  
 5.0% AGRISOTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE BRUSH-NY ECOTYPE)  
 4.0% PANICUM VIRGATUM, NJ ECOTYPE (SWITCHGRASS, NJ ECOTYPE)  
 4.0% PANICUM CLAMATRINUM, TONON (SWEETGRASS, TONON)  
 2.0% SCHIZACHYRIUM SCOPARIUM, 'CAMPO' (LITTLE BLUESTEM, 'CAMPO')  
 1.5% CHAMAECOSTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE)  
 1.2% ECHINACEA PURPUREA (PURPLE CONEFLOWER)  
 1.2% TRICHAS FLAVUS (SWEETTOP)  
 1.0% COREOPSIS LANCOLATA (LAWNSIDE COREOPSIS)  
 1.0% RUBROSA VITA, COASTAL PLAIN NC ECOTYPE (BLACKBEED SIZAN, COASTAL PLAIN NC ECOTYPE)  
 0.7% HELIOPSIS HELIANTHOIDES, PA ECOTYPE (OYE'S SUNFLOWER, PA ECOTYPE)  
 0.2% MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)  
 0.1% ASTER LACIN, NY ECOTYPE (SANDY BLUE ASTER, NY ECOTYPE)  
 0.1% ASTER NOVAE-ANGIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE)  
 0.1% GRAM CANADENSE, PA ECOTYPE (WHITE AWEON, PA ECOTYPE)  
 0.1% UTRIS SPICATA (MARSH (DENSE) BLAZING STAR (SPKED GARFATHER), PA ECOTYPE)  
 0.1% PENSTEMON DIGITALIS, PA ECOTYPE (EMERALD PINK, PA ECOTYPE)  
 0.1% PIPANTHUS TENIFOLIUM  
 0.1% SOLIDAGO UNICA, PA ECOTYPE  
 SEEDING RATE: 60 LB PER ACRE, OR 1 LB PER 1,000 SQ FT
  2. QEM, QUICK EROSION CONTROL COVER MIX (ERNAK-104)  
 50.0% LULIUM MULTIFLORUM (ANNUAL PREGRASS)  
 50.0% LULIUM PERENNE (PERENNIAL PREGRASS, BLACKSTONE)  
 SEEDING RATE: 50 LB PER ACRE
  3. MW, NATIVE UPLAND WILDLIFE FORAGE & COVER MEADOW MIX (ERNAK-123)  
 14.9% ANDROPOGON GERARDI, NIAGARA (BIG BLUESTEM, NIAGARA)  
 27.0% PANICUM VIRGATUM, 'DAVE-IN-DOCK' (SWITCHGRASS, 'DAVE-IN-DOCK')  
 21.0% ELIUM VIRGIDICUM, PA ECOTYPE (WIRGIDIA MILLET, PA ECOTYPE)  
 9.0% SORGHASTRUM NITENS, NY4 ECOTYPE (INDIANGRASS, NY4 ECOTYPE)  
 2.0% RUBROSA VITA, COASTAL PLAIN NC ECOTYPE (BLACKBEED SIZAN, COASTAL PLAIN NC ECOTYPE)  
 2.0% CHAMAECOSTA FASCICULATA, PA ECOTYPE (PARTRIDGE PEA, PA ECOTYPE)  
 1.5% HELIOPSIS HELIANTHOIDES, PA ECOTYPE (OYE'S SUNFLOWER, PA ECOTYPE)  
 1.0% COREOPSIS TINTORIA (PLAINS COREOPSIS)  
 1.0% MONARDA FISTULOSA, FORT INDIANTOWN GAP-PA ECOTYPE (WILD BERGAMOT, FORT INDIANTOWN GAP-PA ECOTYPE)  
 0.1% ASTER LACIN, NY ECOTYPE (SANDY BLUE ASTER, NY ECOTYPE)  
 0.1% ASTER NOVAE-ANGIAE, PA ECOTYPE (NEW ENGLAND ASTER, PA ECOTYPE)  
 0.1% GRAM CANADENSE, PA ECOTYPE (WHITE AWEON, PA ECOTYPE)  
 0.1% UTRIS SPICATA (MARSH (DENSE) BLAZING STAR (SPKED GARFATHER), PA ECOTYPE)  
 0.1% PENSTEMON DIGITALIS, PA ECOTYPE (EMERALD PINK, PA ECOTYPE)  
 0.1% PIPANTHUS TENIFOLIUM  
 0.1% SOLIDAGO UNICA, PA ECOTYPE  
 SEEDING RATE: 20 LB PER ACRE

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
AR	1	Acer Rubrum 'Red Sunset' / Red Maple	45 CONT.	B & B	
	27	Acer Rubrum 'Red Sunset' / Red Maple	3" - 3 1/2" Cal.	B & B	
BNT	1	Betula nigra 'Heritage' / Heritage River Birch	7' - 8' HT.	B & B	
CK	2	Cornus Kousa / Kousa Dogwood	7' - 8' HT.	B & B	
LT	5	Liriodendron tulipifera / Tulip Tree	3" - 3 1/2" Cal.	B & B	
NS	1	Nyssa Sylvatica / Black Tupelo	3" - 3 1/2" Cal.	B & B	
PK	15	Prunus Serotina 'Kwanzan' / Kwanzan Cherry	2 1/2" - 3" Cal.	B & B	
QAL	24	Quercus alba / White Oak	2 1/2" - 3" Cal.	B & B	
QR	20	Quercus rubra / Red Oak	3" - 3 1/2" Cal.	B & B	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
ID	11	Ilex Opaca / American Holly	5' - 6' HT.	B & B	
JSM	48	Juniperus scopulorum / Rocky Mountain Juniper	6' - 7' HT.	B & B	
JVA	49	Juniperus virginiana / Eastern Red Cedar	6' - 7' HT.	B & B	
PGA	49	Picea glauca / White Spruce	6' - 7' HT.	B & B	
POA	72	Picea Omonika / Serbian Spruce	6' - 7' HT.	B & B	
PG	40	Picea pungens Glauca / Colorado Blue Spruce	6' - 7' HT.	B & B	
PS	52	Pinus Strobus / White Pine	6' - 7' HT.	B & B	
TG	27	Thuja occidentalis 'Green Giant' / Green Giant Arborvitae	6' - 7' HT.	B & B	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT COND.	REMARKS
ASP	27	Arsoculus parviflora / Botetush Buckeye	5 gal		
AA	30	Aronia arbutifolia 'Brilliantissima' / Red Chokeberry	3" - 4" HT.		
HVS	28	Hamelis vernalis / Spring Blooming Witchhazel	5 gal		
IGS	55	Ilex glabra 'Shamrock' / Compact Inkberry	3" - 4" HT.		
MB	3	Myrica pennsylvanica / Northern Bayberry	5" - 6" HT.		
PSO	9	Physocarpus opulifolius / Ninesbark	5 gal		
PF	215	Potentilla fruticosa 'Yellow Gem' / Yellow Gem Potentilla	24" - 30" SPR.		
SYK	15	Symphoricarpos x 'Koldham' / Charming Fantasy Snowberry	3 gal		
VA	38	Viburnum dentatum / Viburnum	5 gal		
LD	28	Viburnum dentatum 'Arrowwood' / Arrowwood Viburnum	5 gal		
VTR	11	Viburnum Plicatum tomentosum 'Shasta' / Doublefile Viburnum	5" - 6" HT.	B & B	
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	CONT.	ROOT COND.	REMARKS
JP	50	Juniperus davurica 'Parsoni' / Parson's Juniper	4" pot		
JN	118	Juniperus davurica 'Parsoni' / Parson's Juniper	FLAT @ 65" O.C.		
JG	18	Juniperus davurica 'Parsoni' / Parson's Juniper	flat		
JGO	7	Juniperus virginiana 'Grey Owl' / Eastern Redcedar	3 gal		
LC	316	Lonicera sempervirens / Coral Honeysuckle	1 gal		
PG	103	Parthenocissus quinquefolia / Virginia Creeper	4" pot		
RDL	3	Rhus aromatica 'Gris-Low' / Gris-Low Flaggant Sumac	3 gal		
SL	27	Schizanthymum scoparium / Little Bluestem Grass	1 gal		
SA	35	Sedum x 'Autumn Joy' / Autumn Joy Sedum	1 gal		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS	
HO	114	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	2 gal		
	35	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	FLAT @ 28" O.C.		
NSM	402,993 sf	Native Steep Slope Mix with Annual PREGRASS / Native Steep Slope Mix	seed	See note 1	
QEM	420,997 sf	Native Upland Wildlife Forage & Cover Meadow Mix / Wildlife Forage & Cover Meadow Mix	seed	See note 3	
QEM	381,273 sf	Quick Erosion Control Cover Mix / Erosion Control Mix	seed	See note 2	



NOT FOR CONSTRUCTION

**PUTNAM SEABURY PARTNERS, L.P.**  
 CHAPPAQUA, NY 0514

**JMC**  
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Myers Consulting, Inc.  
 120 BELLEVILLE ROAD - ARLINGTON, NY 05344  
 voice 518.233.5243 fax 518.233.2122  
 www.jmcinc.com

**LANDSCAPING PLAN 'E'**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

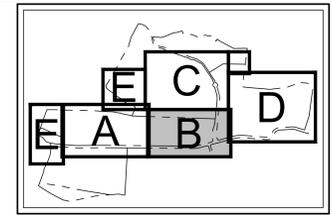
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KSM Approved: RJP  
 Scale: 1" = 50'  
 Date: 11/06/2017  
 Project No: 14012  
 Hatched: LAND E  
 Drawing No: C-505

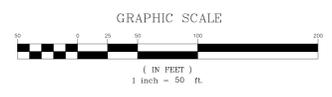


Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
BUILDING A ENTRANCE	Fc	1.76	4.3	0.1	17.60	43.00	20	20
BUILDING A PARKING	Fc	1.59	4.6	0.2	7.95	23.00		
BUILDING B ENTRANCE	Fc	1.52	4.0	0.1	15.20	40.00		
BUILDING B PARKING	Fc	1.33	4.6	0.0	N.A.	N.A.		

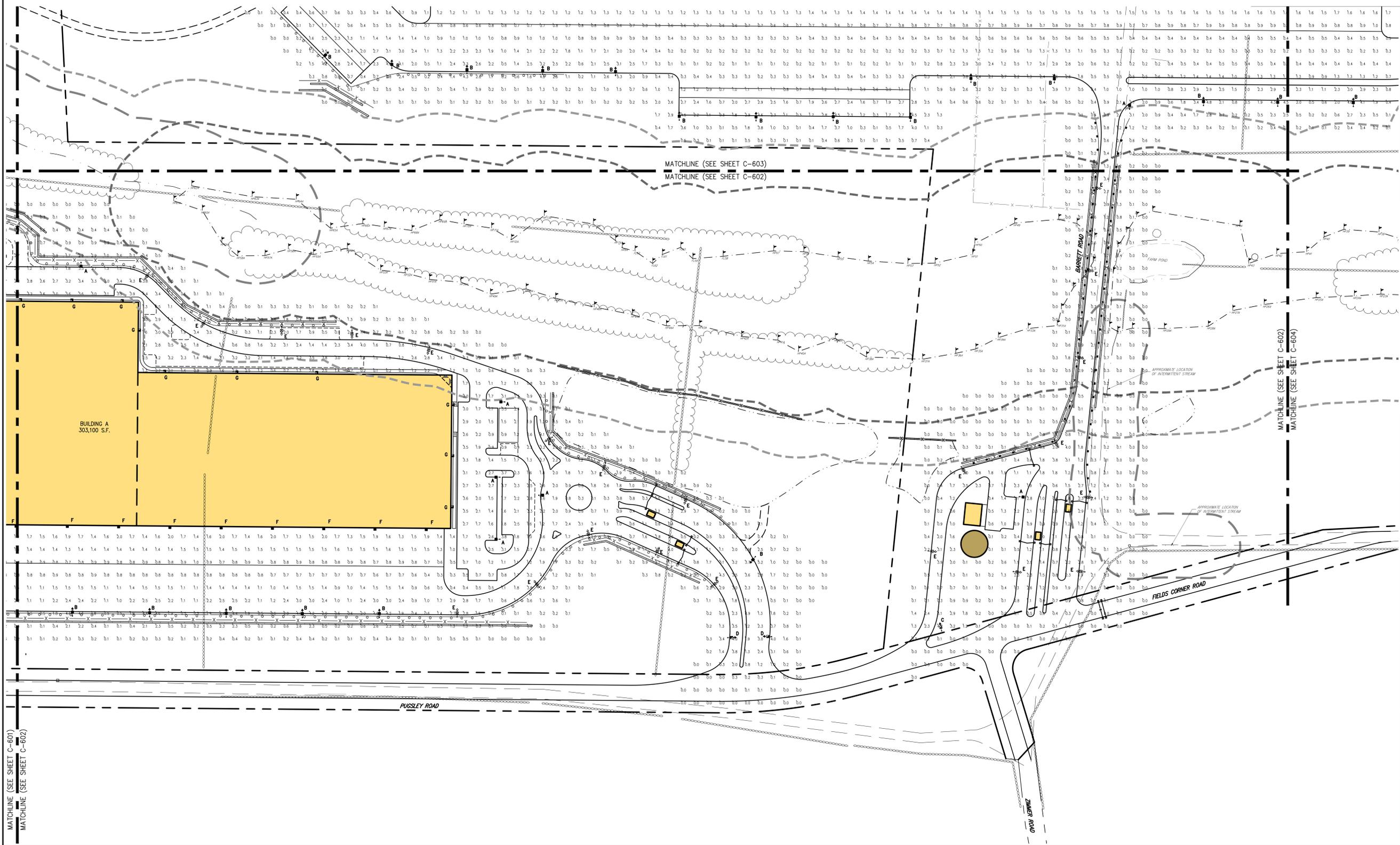
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
●	10	A	16684	0.950	WLS-CLXM-LED-18L-SIL-SW-30-70CRI 17' POLE 3' BASE	148.5
●	37	B	17901	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI 17' POLE 3' BASE	148.5
●	59	C	11422	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI-IL 17' POLE 3' BASE	148.5
●	2	D	11843	0.950	WLS-CLXM-LED-12L-SIL-2-30-70CRI 17' POLE 3' BASE	93.1
●	22	E	12018	0.950	WLS-CLXM-LED-12L-SIL-3-30-70CRI 17' POLE 3' BASE	93.1
■	42	F	10993	0.950	WLS-MIRW-3-LED-12L-30 25' MOUNTING HEIGHT	102.2
■	18	G	11130	0.950	WLS-MIRW-3-LED-12L-30 21' MOUNTING HEIGHT	102.2



KEY MAP  
SCALE: 1" = 1,500'



NOTES  
1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.



NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-601)  
MATCHLINE (SEE SHEET C-602)

Rev.	Date	Description
1	05/17/2018	THIS COMPLETENESS SUBMISSION
2	05/18/2018	FIS COMPLETENESS SUBMISSION
3	05/17/2019	REVISED PER TOWN COMMENTS
4	11/09/2019	REVISED PER FIS COMMENTS
5	09/17/2020	REVISED PER INCEP COMMENTS

APPLICANT/TOWNER  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
John Meyer Consulting, Inc.  
120 BEAUFORT ROAD - WARREN, NY 10564  
voice 518 473 5243 fax 518 473 2102  
www.jmcplc.com



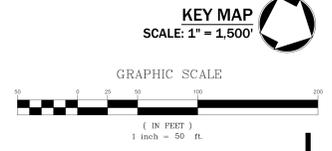
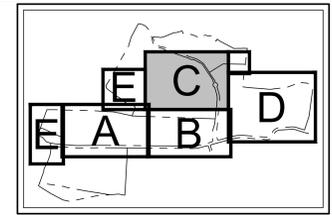
LIGHTING PLAN 'B'  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

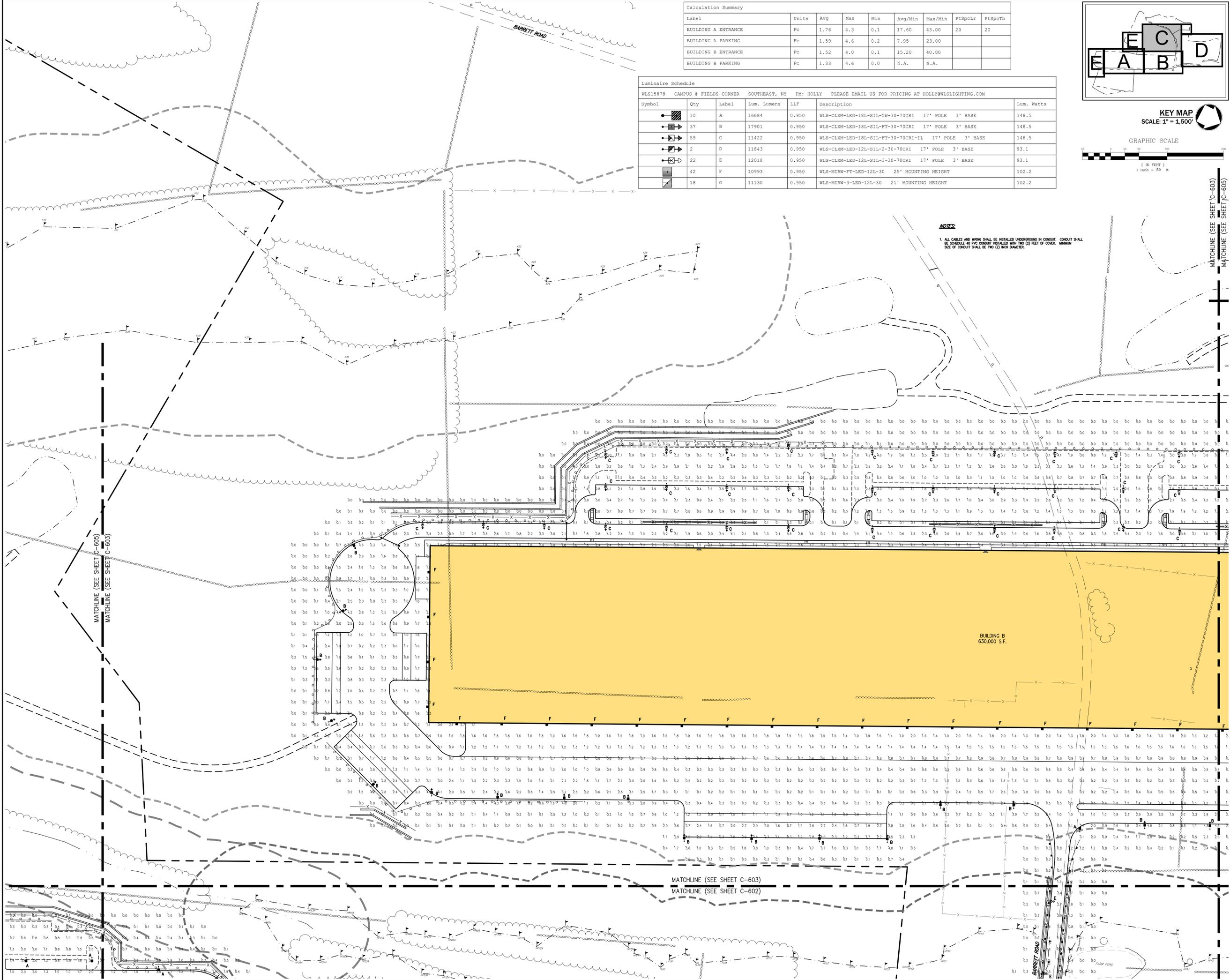
Drawn: KSM	Approved: RJP
Scale: 1" = 50'	
Date: 11/06/2017	
Project No: 14012	
Sheet No: LIGHTING B (LIGHT)	
<b>C-602</b>	

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	FtSpcLr	FtSpcTb
BUILDING A ENTRANCE	Fc	1.76	4.3	0.1	17.60	43.00	20	20
BUILDING A PARKING	Fc	1.59	4.6	0.2	7.95	23.00		
BUILDING B ENTRANCE	Fc	1.52	4.0	0.1	15.20	40.00		
BUILDING B PARKING	Fc	1.33	4.6	0.0	N.A.	N.A.		

Luminaire Schedule								
Symbol	Qty	Label	Lum. Lumens	LLF	Description			Lum. Watts
●	10	A	16684	0.950	WLS-CLXM-LED-16L-SIL-5W-30-70CRI	17' POLE	3' BASE	148.5
●	37	B	17901	0.950	WLS-CLXM-LED-16L-SIL-FT-30-70CRI	17' POLE	3' BASE	148.5
●	59	C	11422	0.950	WLS-CLXM-LED-16L-SIL-FT-30-70CRI-IL	17' POLE	3' BASE	148.5
●	2	D	11843	0.950	WLS-CLXM-LED-12L-SIL-2-30-70CRI	17' POLE	3' BASE	93.1
●	22	E	12018	0.950	WLS-CLXM-LED-12L-SIL-3-30-70CRI	17' POLE	3' BASE	93.1
■	42	F	10993	0.950	WLS-MIRW-FT-LED-12L-30	25' MOUNTING HEIGHT		102.2
■	18	G	11130	0.950	WLS-MIRW-3-LED-12L-30	21' MOUNTING HEIGHT		102.2



**NOTES**  
 1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.



No.	Date	Revision
1.	05/17/2018	ISSUE FOR PERMIT SUBMISSION
2.	05/18/2018	ISSUE FOR PERMIT SUBMISSION
3.	05/07/2019	REVISED PER TOWN COMMENTS
4.	11/05/2019	REVISED PER TOWN COMMENTS
5.	09/17/2020	REVISED PER TOWN COMMENTS

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BELLEVILLE ROAD - WATKINS, NY 13154  
 voice 518.233.5525 fax 518.273.2192  
 www.jmc.com



**LIGHTING PLAN 'C'**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209.3 SUBSECTION 2.

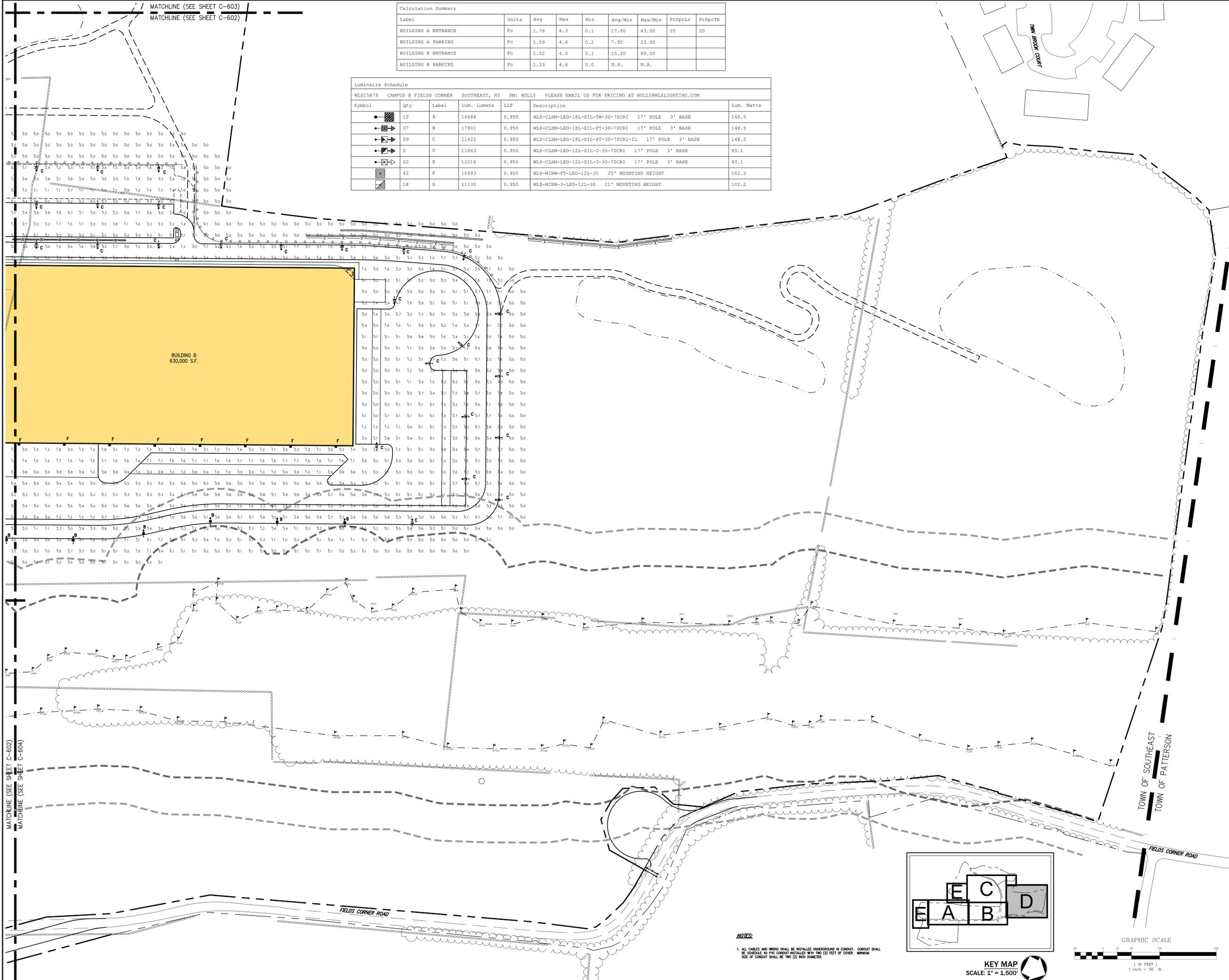
Drawn	KSM	Approved	RJP
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet Title:	LIGHTING PLAN 'C'		
Sheet No.:	C-603		

NOT FOR CONSTRUCTION

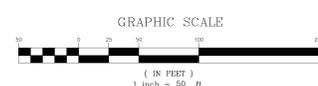
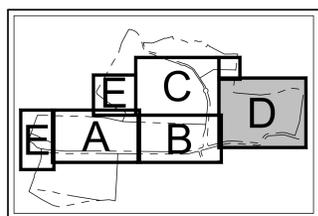
MATCHLINE (SEE SHEET C-603)  
MATCHLINE (SEE SHEET C-602)

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpCLr	PtSpCb
BUILDING A ENTRANCE	Fc	1.76	4.3	0.1	17.60	43.00	20	20
BUILDING A PARKING	Fc	1.59	4.6	0.2	7.95	23.00		
BUILDING B ENTRANCE	Fc	1.52	4.0	0.1	15.20	40.00		
BUILDING B PARKING	Fc	1.33	4.6	0.0	N.A.	N.A.		

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
●	10	A	16684	0.950	WLS-CLXM-LED-18L-SIL-5W-30-70CRI 17' POLE 3' BASE	148.5
■	37	B	17901	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI 17' POLE 3' BASE	148.5
◆	59	C	11422	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI-IL 17' POLE 3' BASE	148.5
■	2	D	11843	0.950	WLS-CLXM-LED-12L-SIL-2-30-70CRI 17' POLE 3' BASE	93.1
◆	22	E	12018	0.950	WLS-CLXM-LED-12L-SIL-3-30-70CRI 17' POLE 3' BASE	93.1
■	42	F	10993	0.950	WLS-MIRW-FT-LED-12L-30 25' MOUNTING HEIGHT	102.2
■	18	G	11130	0.950	WLS-MIRW-3-LED-12L-30 21' MOUNTING HEIGHT	102.2



BUILDING B  
630,000 S.F.



**NOTES**  
1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.

NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-602)  
MATCHLINE (SEE SHEET C-604)

No.	Date	Revision
1.	05/17/2018	THIS COMPLETENESS SUBMISSION
2.	05/18/2018	FEES COMPLETENESS SUBMISSION
3.	05/07/2019	REVISED PER TOWN COMMENTS
4.	11/09/2019	REVISED PER FEES COMMENTS
5.	09/17/2020	REVISED PER INVOICE COMMENTS

APPLICANT/TOWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

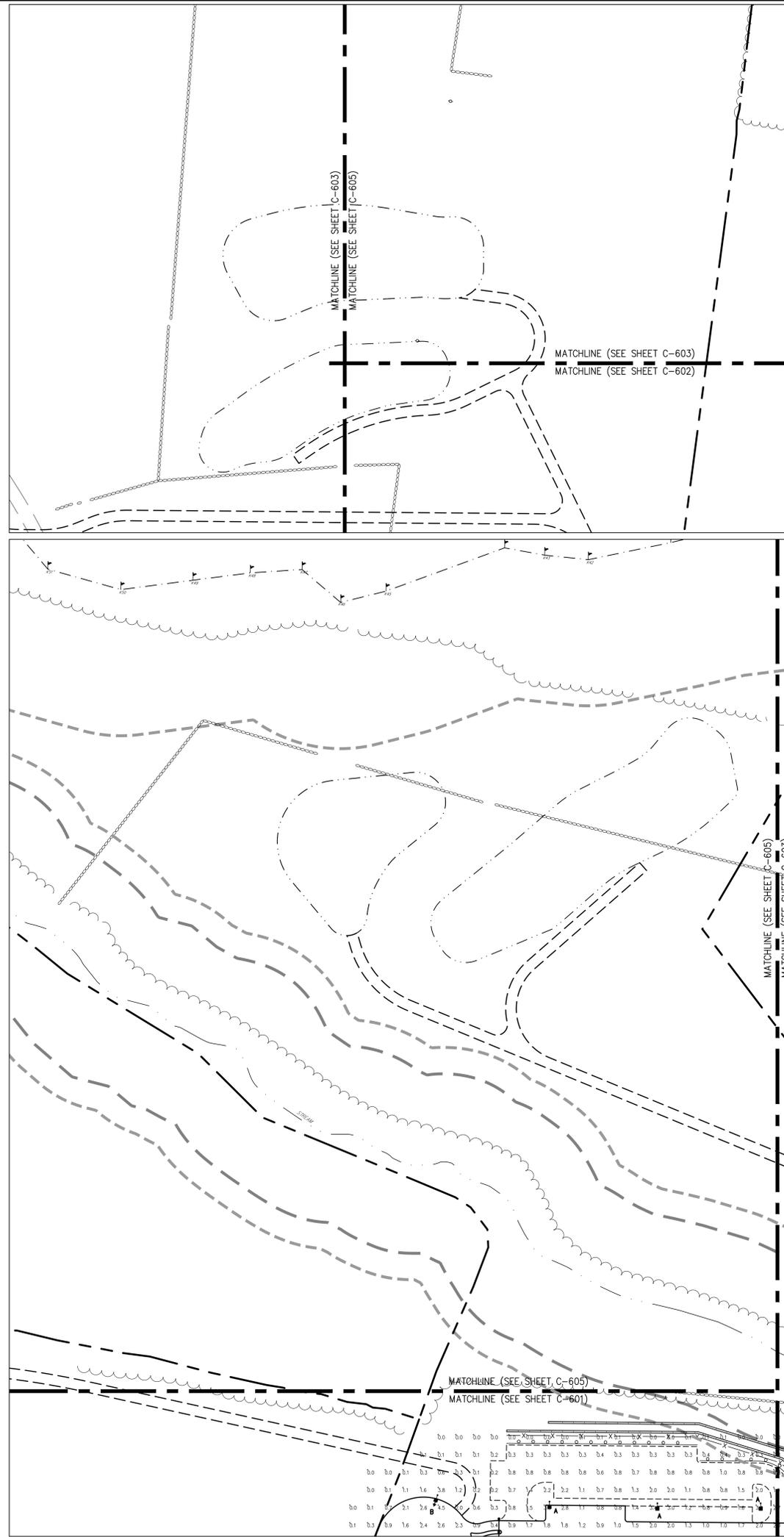
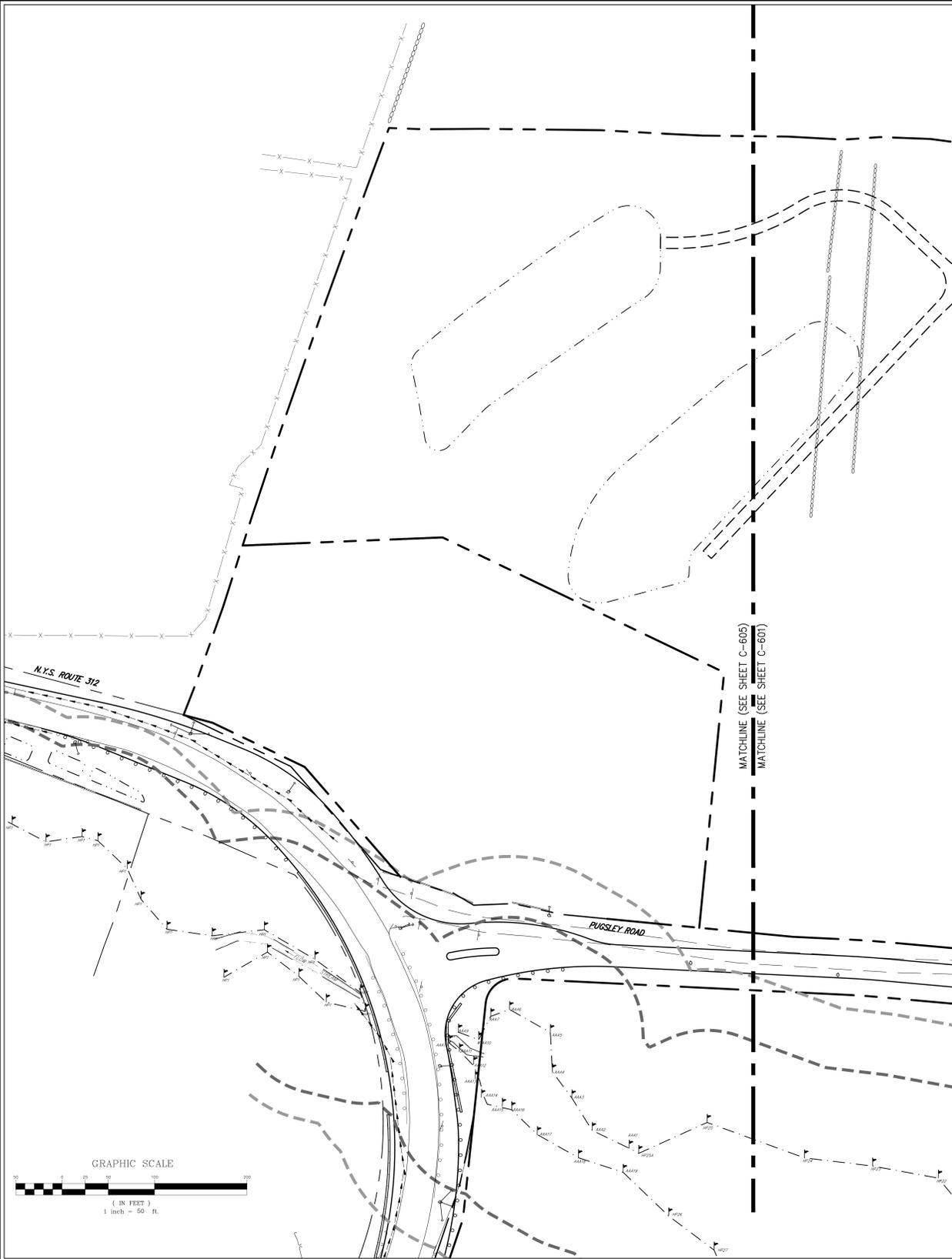
JMC Planning, Engineering, Landscape  
Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEAUFORT ROAD - WARREN, NY 10584  
voice 518.233.5243 • fax 518.272.2102  
www.jmcplc.com



**LIGHTING PLAN 'D'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn	KSM	Approved	R.P.
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet No.:	14012		
Client:	PUTNAM SEABURY PARTNERS, L.P.		
Sheet Title:	LIGHTING PLAN 'D'		
Sheet No.:	C-604		



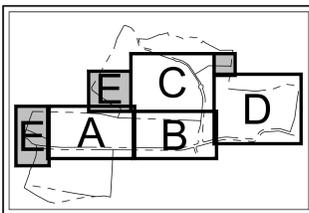
Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min	FtSpCLr	FtSpCb
BUILDING A ENTRANCE	Fc	1.76	4.3	0.1	17.60	43.00	20	20
BUILDING A PARKING	Fc	1.59	4.6	0.2	7.95	23.00		
BUILDING B ENTRANCE	Fc	1.52	4.0	0.1	15.20	40.00		
BUILDING B PARKING	Fc	1.33	4.6	0.0	N.A.	N.A.		

Luminaire Schedule

WLS15878 CAMPUS @ FIELDS CORNER SOUTHEAST, NY FM: HOLLY PLEASE EMAIL US FOR PRICING AT HOLLY@WLSLIGHTING.COM

Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
●	10	A	16684	0.950	WLS-CLXM-LED-18L-SIL-SW-30-70CRI 17' POLE 3' BASE	148.5
■	37	B	17901	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI 17' POLE 3' BASE	148.5
◆	59	C	11422	0.950	WLS-CLXM-LED-18L-SIL-FT-30-70CRI-IL 17' POLE 3' BASE	148.5
■	2	D	11843	0.950	WLS-CLXM-LED-12L-SIL-2-30-70CRI 17' POLE 3' BASE	93.1
◆	22	E	12018	0.950	WLS-CLXM-LED-12L-SIL-3-30-70CRI 17' POLE 3' BASE	93.1
■	42	F	10993	0.950	WLS-MIRW-FT-LED-12L-30 25' MOUNTING HEIGHT	102.2
■	18	G	11130	0.950	WLS-MIRW-3-LED-12L-30 21' MOUNTING HEIGHT	102.2



NOTES

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.

No.	By	Date	Reason
1.	KSM	05/17/2018	THIS COMPLETENESS SUBMISSION
2.	KSM	05/18/2018	FEES COMPLETENESS SUBMISSION
3.	KSM	05/07/2019	REVISED PER TOWN COMMENTS
4.	KSM	11/09/2019	REVISED PER FEES COMMENTS
5.	KSM	09/17/2020	REVISED PER NYCEEP COMMENTS

APPLICANT/OWNER

**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

JMC Planning, Engineering, Landscape  
Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
120 BEAUFORT ROAD - WARREN, NY 10564  
PHONE: 518.238.5243 - FAX: 518.273.2102  
www.jmcpic.com

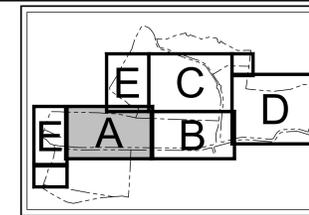


**LIGHTING PLAN 'E'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

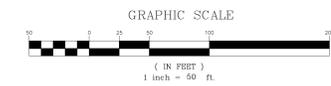
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Drawn	KSM	Approved	RJP
Scale:	1" = 50'		
Date:	11/06/2017		
Project No.:	14012		
Sheet No.:	LIGHTING (E) (LIGHT)		
<b>C-605</b>			

NOT FOR CONSTRUCTION



KEY MAP  
SCALE: 1" = 1,500'



LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND TAG NUMBER
	EXISTING TREE TO BE REMOVED
	APPROXIMATE EXISTING TREE LINE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	BOTTOM OF RIDGELINE
	PROPOSED LIMIT OF DISTURBANCE

**NOTES**

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BAEY & WATSON SURVEYING AND ENGINEERING, P.C.
- EXISTING TREE LOCATIONS ARE TAKEN FROM A SURVEY PREPARED BY BAEY & WATSON SURVEYING AND ENGINEERING, P.C., TITLED "TREE SURVEY", REVISED 03/25/2018.
- THE TREE LIST IS DEPICTED ON DRAWINGS C-711 & C-712.
- TREE SYMBOLS ARE SHOWN TO GENERALLY REPRESENT THE RELATIVE SIZE OF THE TREE CANOPY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
- UPON TREE REMOVAL AND ROUGH GRADING, THE BARE SOIL SHALL BE PLANTED WITH A NATIVE SEED MESSOR MIX OF GRASSES AND WILD FLOWERS.



NOT FOR CONSTRUCTION

No.	Revision	Date	By	Appr.
1.	FEES COMPLETENESS SUBMISSION	03/18/2018	KSM	
2.	REVISED PER TOWN COMMENTS	05/07/2018	KSM	
3.	REVISED PER FEES COMMENTS	11/19/2018	KSM	
4.	REVISED PER NYDEC COMMENTS	06/17/2020	KSM	

APPLICANT/TOWNSHIP:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

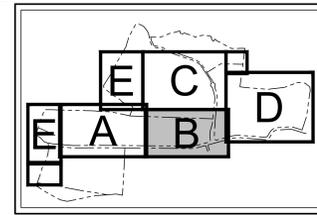
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
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120 BEAUFORT ROAD - WARREN, NY 10564  
voice 518 233 5235 - fax 518 273 2102  
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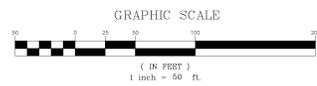
**TREE AND FOREST PRESERVATION PLAN 'A'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	R.P.
Scale	1" = 50'		
Date	05/11/2018		
Project No.	14012		
NO. OF SHEETS	TREE A	A, THE NUMBER OF SHEETS	
Sheet No.	C-701		

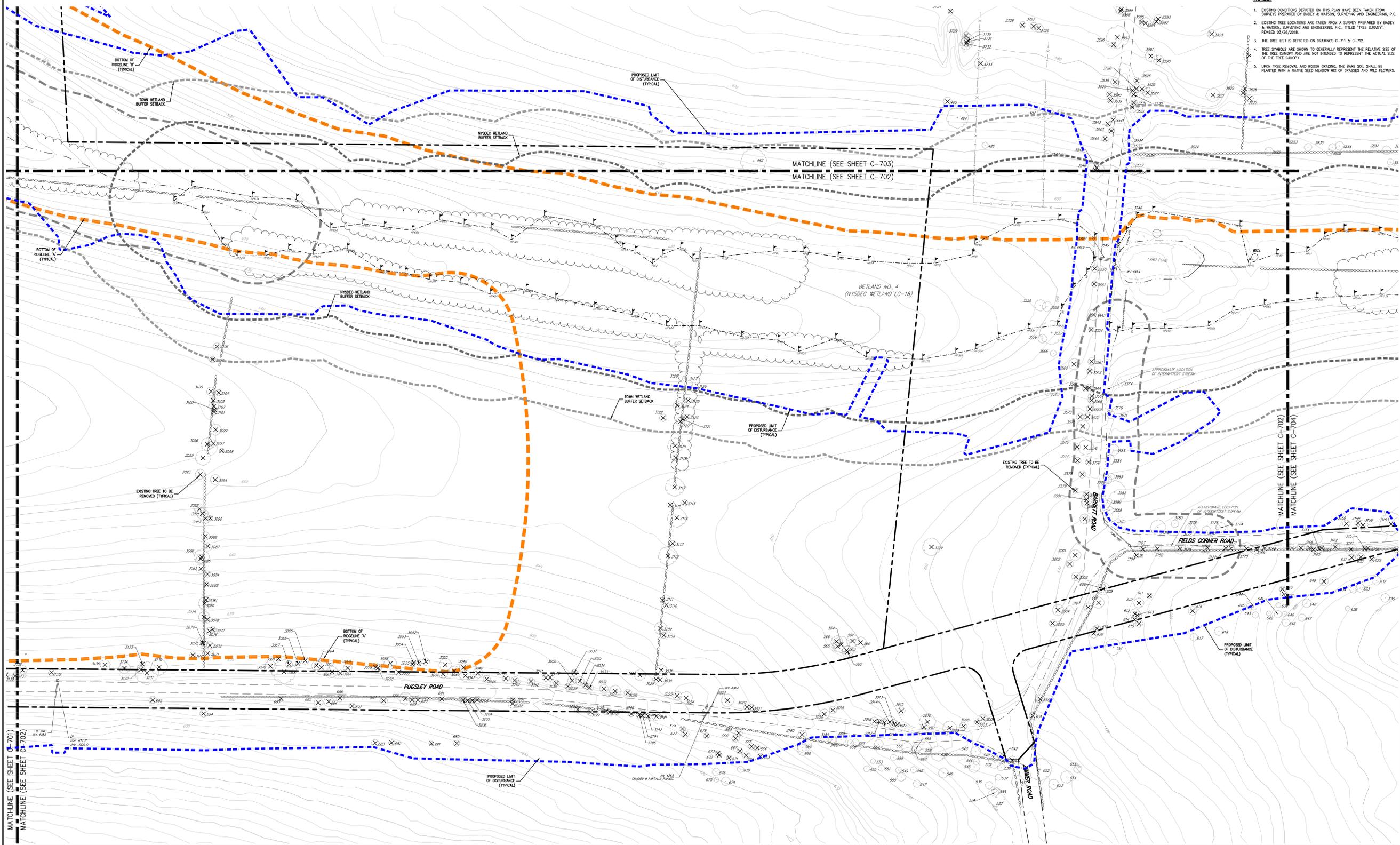


**KEY MAP**  
SCALE: 1" = 1,500'



LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYSDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND TAG NUMBER
	EXISTING TREE TO BE REMOVED
	APPROXIMATE EXISTING TREE LINE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	BOTTOM OF RIDGE LINE
	PROPOSED LIMIT OF DISTURBANCE

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON SURVEYING AND ENGINEERING, P.C.
  - EXISTING TREE LOCATIONS ARE TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON SURVEYING AND ENGINEERING, P.C., TITLED "TREE SURVEY", REVISED 03/25/2018.
  - THE TREE LIST IS DEPICTED ON DRAWINGS C-711 & C-712.
  - TREE SYMBOLS ARE SHOWN TO GENERALLY REPRESENT THE RELATIVE SIZE OF THE TREE CANOPY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - UPON TREE REMOVAL AND ROUGH GRADING, THE BASE SOIL SHALL BE PLANTED WITH A NATIVE SEED MEADOW MIX OF GRASSES AND WILD FLOWERS.



NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-701)  
MATCHLINE (SEE SHEET C-702)

Rev.	Date	Description
1	03/18/2018	FEES COMPLETENESS SUBMISSION
2	05/07/2018	REVISED PER TOWN COMMENTS
3	11/19/2018	REVISED PER FEES COMMENTS
4	06/17/2020	REVISED PER NYSDEC COMMENTS

APPLICANT/TOWNSHIP:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
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120 BEAUFORT ROAD - WARREN, NY 13554  
VOICE: 518.273.5235 - FAX: 518.273.2102  
www.jmcplc.com



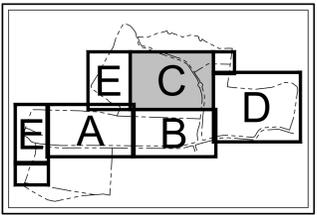
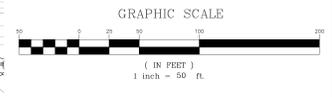
**TREE AND FOREST PRESERVATION PLAN 'B'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

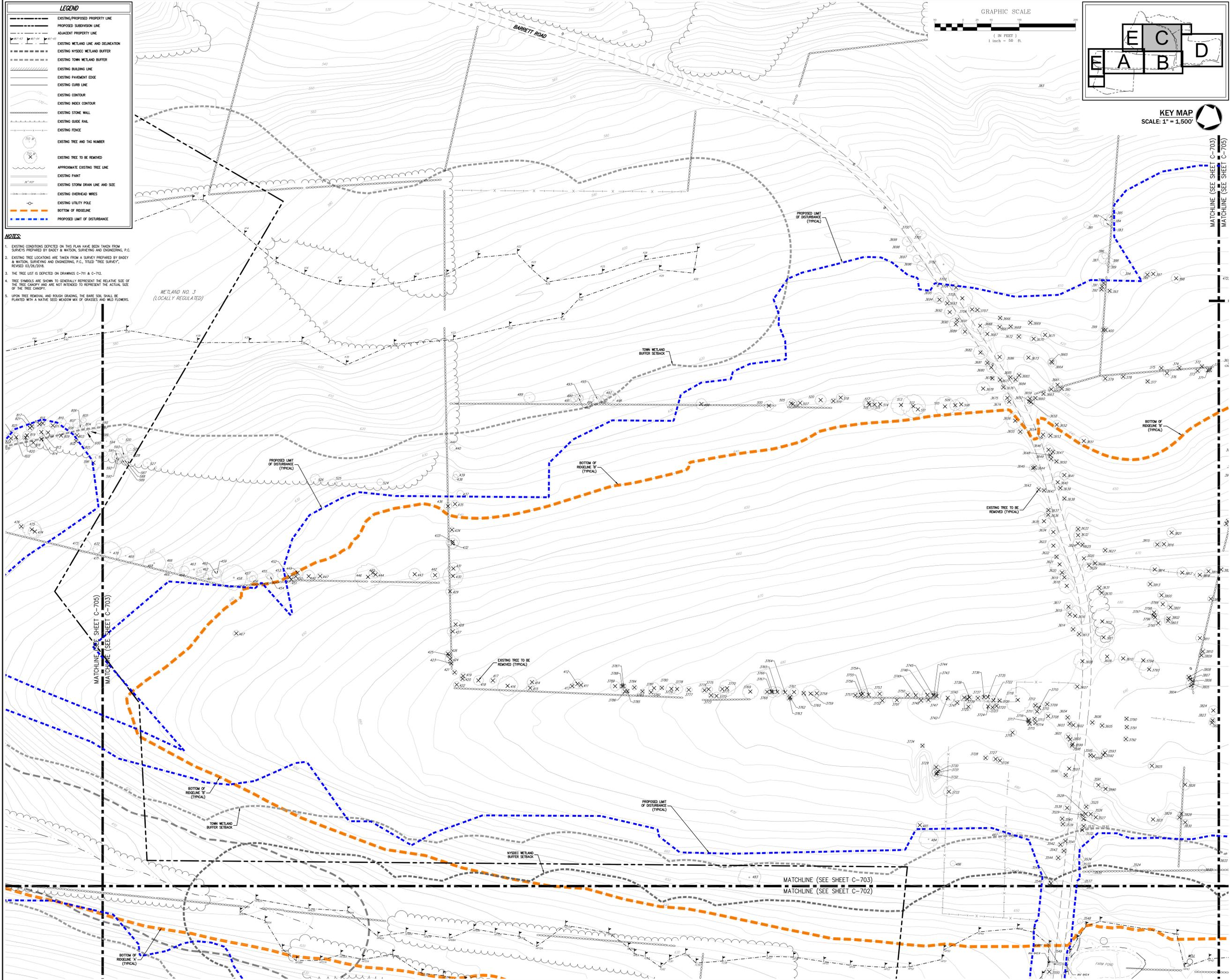
Drawn: <b>KSM</b>	Approved: <b>RJP</b>
Scale: 1" = 50'	
Date: 05/11/2018	
Project No: 14012	
NO. REVISION: TREE B	A, THE REVISION
Sheet No: <b>C-702</b>	

LEGEND	
	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYSDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND TAG NUMBER
	EXISTING TREE TO BE REMOVED
	APPROXIMATE EXISTING TREE LINE
	EXISTING FANT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	BOTTOM OF RIDGELINE
	PROPOSED LIMIT OF DISTURBANCE

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - EXISTING TREE LOCATIONS ARE TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C., TITLED "TREE SURVEY", REVISED 03/26/2018.
  - THE TREE LIST IS DEPICTED ON DRAWINGS C-711 & C-712.
  - TREE SYMBOLS ARE SHOWN TO GENERALLY REPRESENT THE RELATIVE SIZE OF THE TREE CANOPY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - UPON TREE REMOVAL AND ROUGH GRADING, THE BARE SOIL SHALL BE PLANTED WITH A NATIVE SEED MEADOW MIX OF GRASSES AND WILD FLOWERS.



KEY MAP  
SCALE: 1" = 1,500'



No.	Revision	Date
1.	FEES COMPLETED SUBMISSION	03/18/2018
2.	REVISED PER TOWN COMMENTS	05/07/2018
3.	REVISED PER FEES COMMENTS	11/19/2019
4.	REVISED PER NYDEC COMMENTS	09/17/2020

No.	Revision	Date
1.	FEES COMPLETED SUBMISSION	03/18/2018
2.	REVISED PER TOWN COMMENTS	05/07/2018
3.	REVISED PER FEES COMMENTS	11/19/2019
4.	REVISED PER NYDEC COMMENTS	09/17/2020

APPLICANT/TOWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 0514

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
John Myers Consulting, Inc.  
120 BEAUFORT ROAD - WARREN, NY 13584  
VOICE 518.233.5525 - FAX 518.272.2192  
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**TREE AND FOREST PRESERVATION PLAN 'C'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

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Drawn	KRM	Approved	R.P.
Scale:	1" = 50'		
Date:	05/11/2018		
Project No.:	14012		
NO. REVISION	TREE C	A. THE REVISION	
Drawn by:			

**C-703**

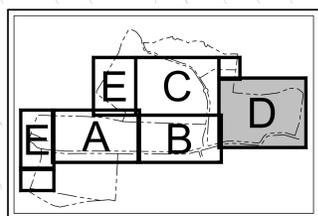
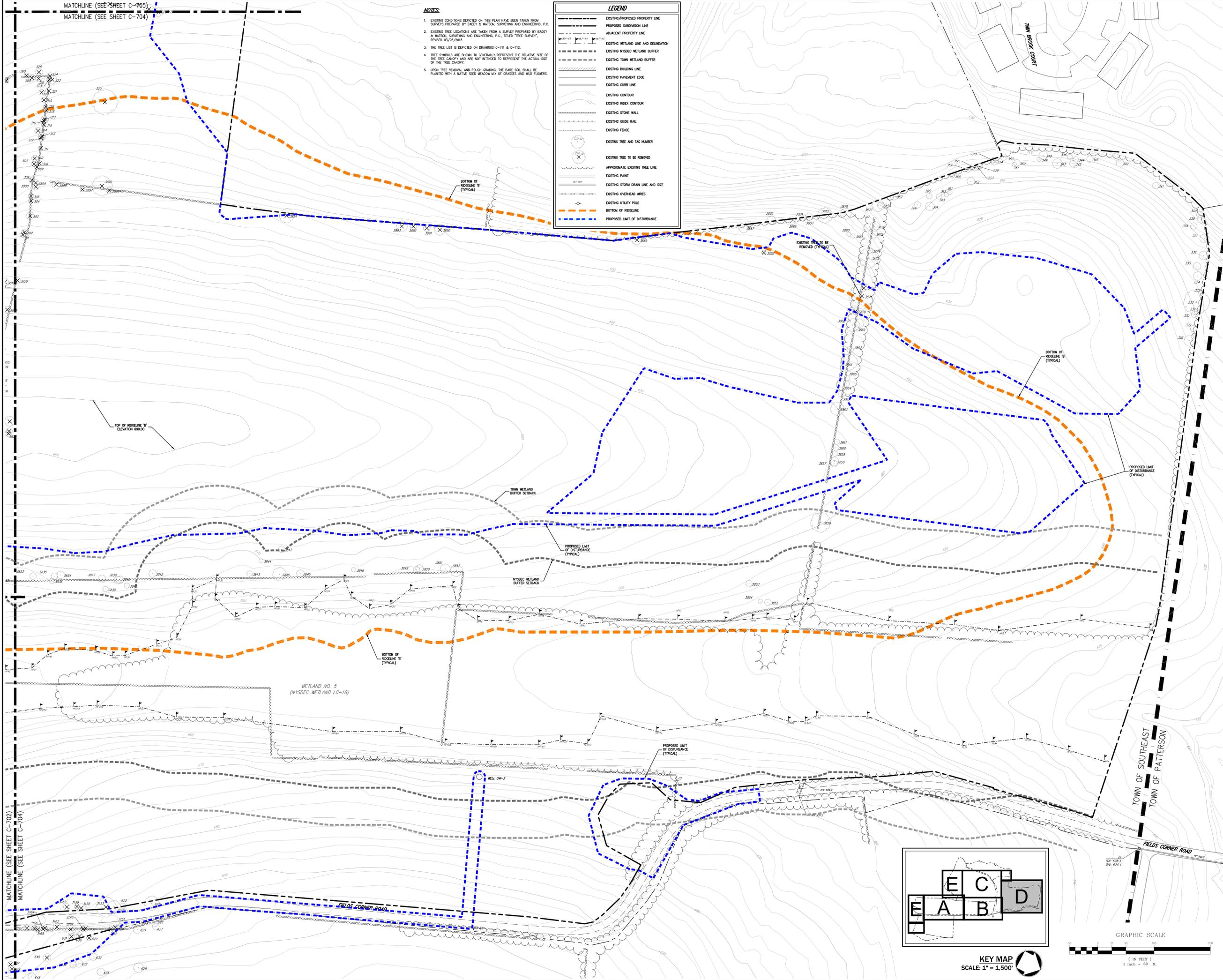
NOT FOR CONSTRUCTION

MATCHLINE (SEE SHEET C-705)  
MATCHLINE (SEE SHEET C-704)

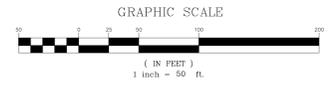
- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - EXISTING TREE LOCATIONS ARE TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C., TITLED "TREE SURVEY", REVISED 03/26/2018.
  - THE TREE LIST IS DEPICTED ON DRAWINGS C-711 & C-712.
  - TREE SYMBOLS ARE SHOWN TO GENERALLY REPRESENT THE RELATIVE SIZE OF THE TREE CANOPY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - UPON TREE REMOVAL AND ROUGH GRADING, THE BARE SOIL SHALL BE PLANTED WITH A NATIVE SEED MEADOW MIX OF GRASSES AND WILD FLOWERS.

**LEGEND**

	EXISTING/PROPOSED PROPERTY LINE
	PROPOSED SUBDIVISION LINE
	ADJACENT PROPERTY LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING NYSDEC WETLAND BUFFER
	EXISTING TOWN WETLAND BUFFER
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING TREE AND TAG NUMBER
	EXISTING TREE TO BE REMOVED
	APPROXIMATE EXISTING TREE LINE
	EXISTING PAINT
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING OVERHEAD WIRES
	EXISTING UTILITY POLE
	BOTTOM OF ROGELINE 'Y'
	PROPOSED LIMIT OF DISTURBANCE



**KEY MAP**  
SCALE: 1" = 1,500'



No.	By	Date	Revisions
1.	KRM	03/18/2018	ISSUANCE
2.	KRM	05/07/2018	REVISED PER TOWN COMMENTS
3.	KRM	11/19/2019	REVISED PER TOWN COMMENTS
4.	KRM	06/17/2020	REVISED PER NYDEC COMMENTS

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

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VOICE: 518.233.5525 - FAX: 518.272.2122  
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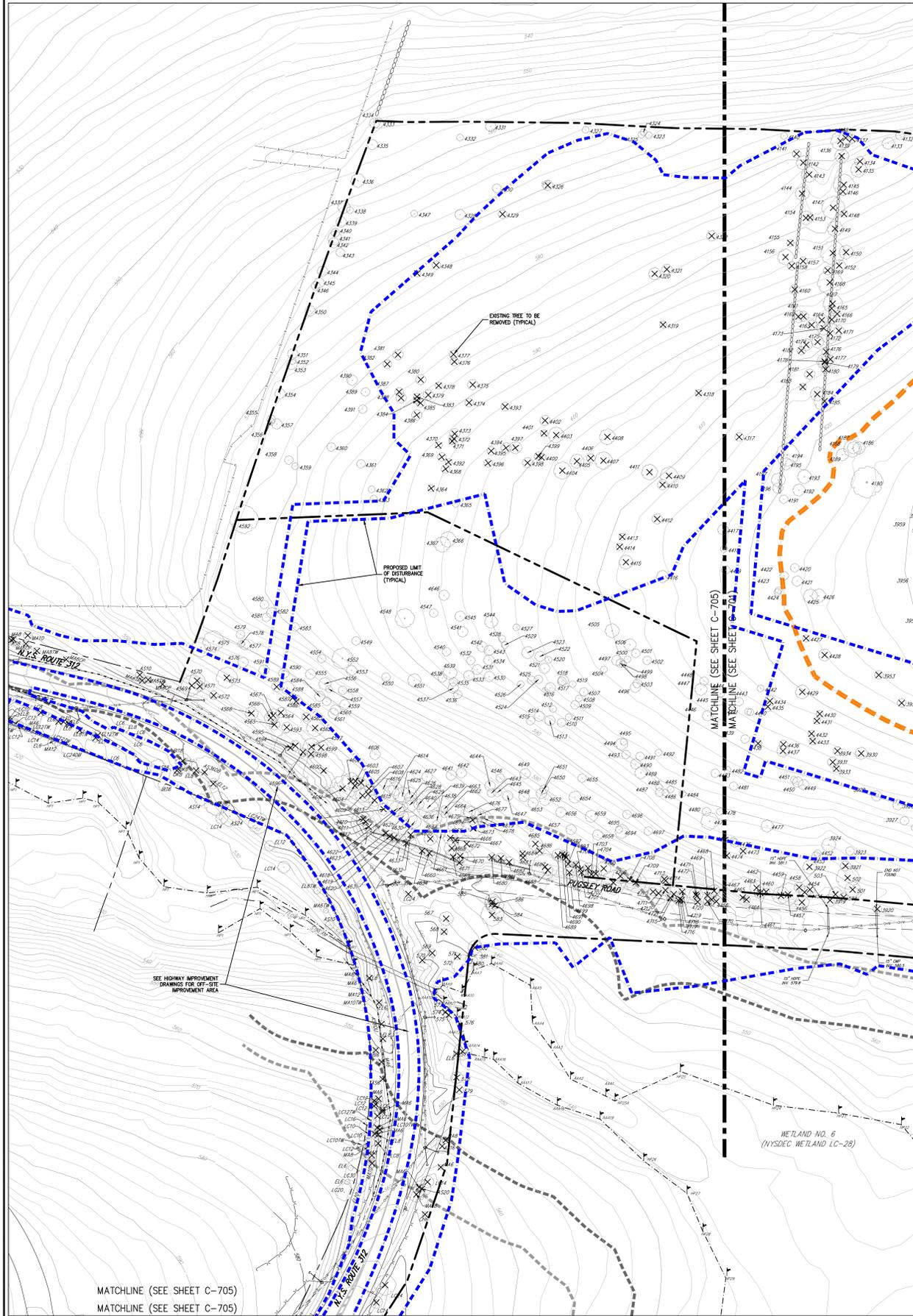


**TREE AND FOREST PRESERVATION PLAN 'D'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn:	KRM	Approved:	R.P.
Scale:	1" = 50'		
Date:	05/11/2018		
Project No.:	14012		
NO. REVISION	TREE D	A, THE REVISION	
Sheet No.:	<b>C-704</b>		

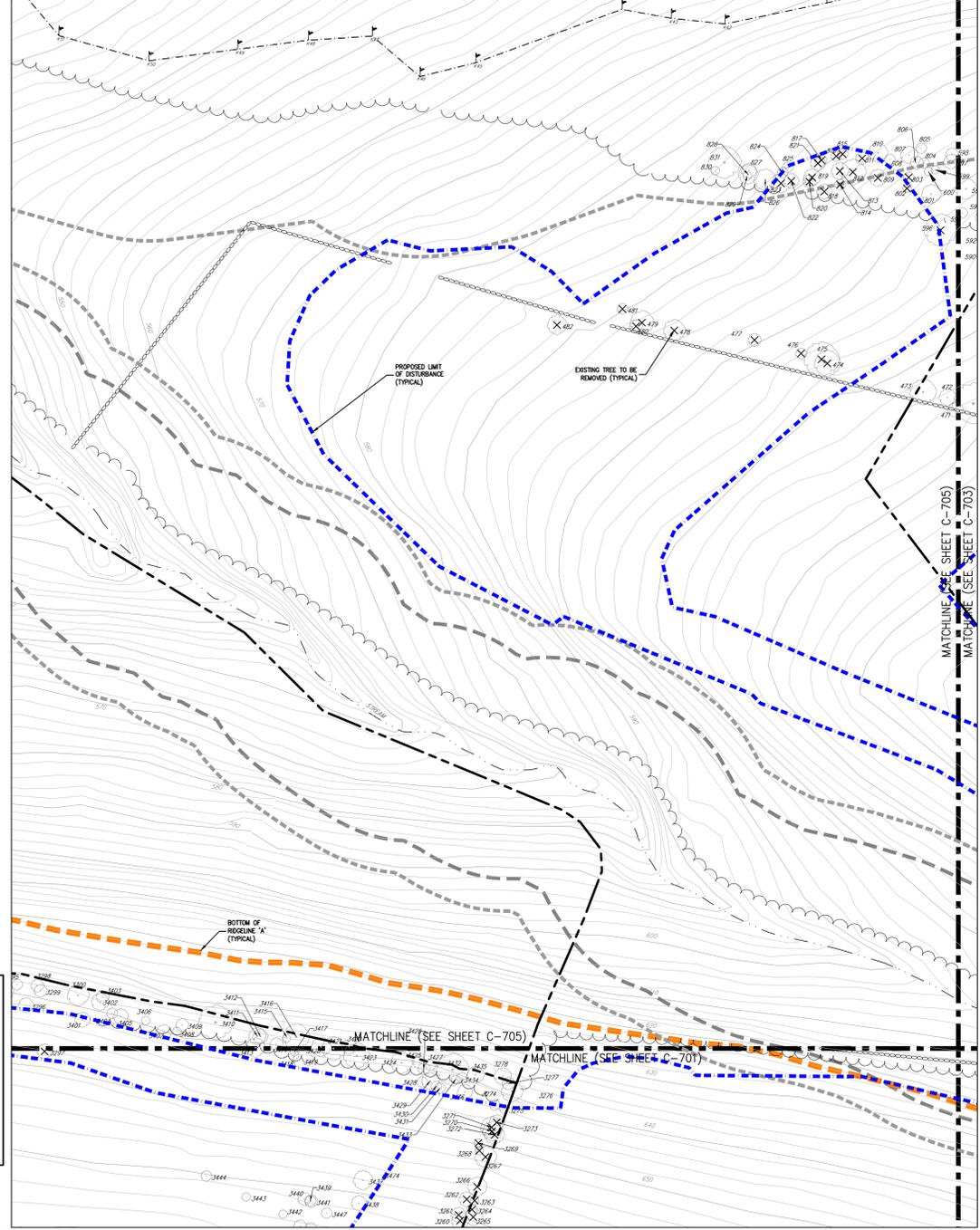
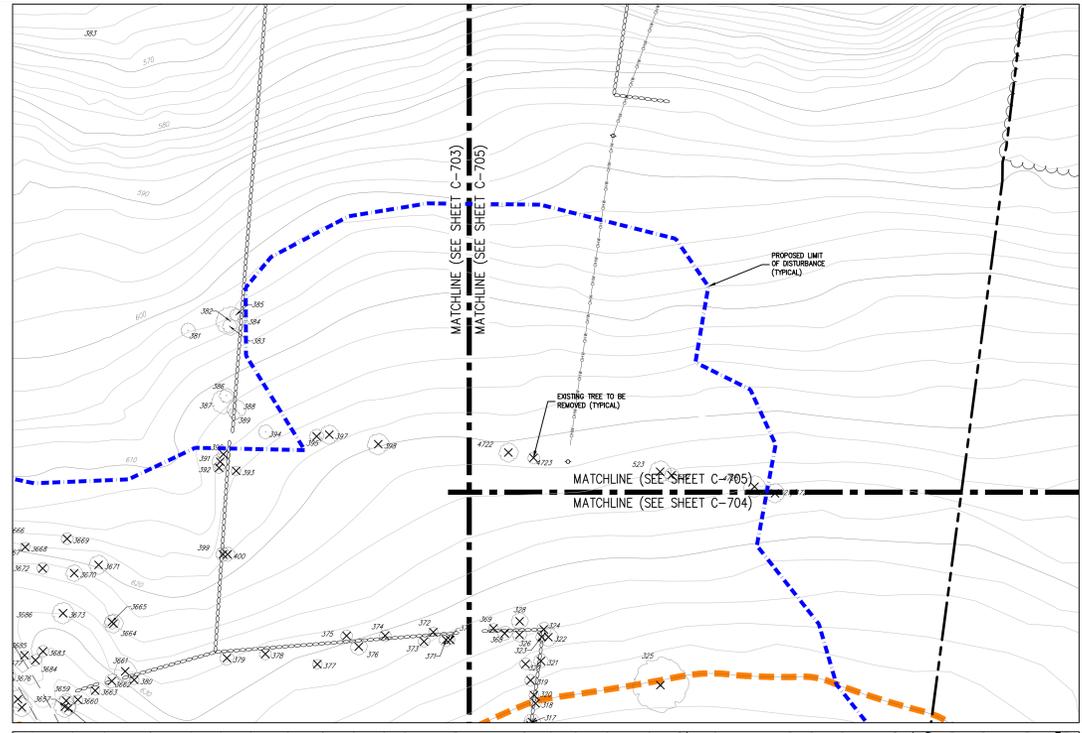
NOT FOR CONSTRUCTION



**LEGEND**

- EXISTING/PROPOSED PROPERTY LINE
- PROPOSED SUBDIVISION LINE
- ADJACENT PROPERTY LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING NYSDEC WETLAND BUFFER
- EXISTING TOWN WETLAND BUFFER
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND TAG NUMBER
- EXISTING TREE TO BE REMOVED
- APPROXIMATE EXISTING TREE LINE
- EXISTING PAINT
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING OVERHEAD WIRES
- EXISTING UTILITY POLE
- EXISTING FENCE
- BOTTOM OF ROADELINE
- PROPOSED LIMIT OF DISTURBANCE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEYS PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C.
  - EXISTING TREE LOCATIONS ARE TAKEN FROM A SURVEY PREPARED BY BADEY & WATSON, SURVEYING AND ENGINEERING, P.C., TITLED "TREE SURVEY", REVISED 03/26/2018.
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  - TREE SYMBOLS ARE SHOWN TO GENERALLY REPRESENT THE RELATIVE SIZE OF THE TREE CANOPY AND ARE NOT INTENDED TO REPRESENT THE ACTUAL SIZE OF THE TREE CANOPY.
  - UPON TREE REMOVAL AND ROUGH GRADING, THE BARE SOIL SHALL BE PLANTED WITH A NATIVE SEED MEADOW MIX OF GRASSES AND WILD FLOWERS.



No.	Revision	Date
1.	FEES COMPLETED SUBMISSION	03/19/2018
2.	REVISED PER TOWN COMMENTS	05/07/2018
3.	REVISED PER FEES COMMENTS	11/19/2019
4.	REVISED PER NYDEC COMMENTS	06/17/2020

APPLICANT/TOWNSHIP:

**PUTNAM SEABURY PARTNERS, L.P.**  
287 KING STREET  
CHAPPAQUA, NY 10514

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JMC Site Development Consultants, LLC  
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120 BELLEVILLE ROAD - WARREN, NY 10594  
voice 518.233.5243 fax 518.273.2192  
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**TREE AND FOREST PRESERVATION PLAN 'E'**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTHEAST, NEW YORK

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Drawn:	KSM	Approved:	R.P.
Scale:	1" = 50'	Date:	05/11/2018
Project No.:	14012	Sheet No.:	3 OF 3
NO REVISIONS	TREE E	A.T.E. REVISION	
<b>C-705</b>			

NOT FOR CONSTRUCTION



TREE LIST (CONTINUED) table with columns: TAG NO, NORTHING, EASTING, BAW NO, DISC, RIDGELINE, TO REMOVE, TAG NO, NORTHING, EASTING, BAW NO, DISC, RIDGELINE, TO REMOVE. Includes a KEY section for species abbreviations and a TREE SUMMARY TABLE.

KEY
SPECIES: AN APRON, AP APPLE, AS ASP, BE BEECH, BR BIRCH, CH CHERRY, CW COTTONWOOD, EL ELM, FR FR, etc.
ATTRIBUTES: C\* CLAMP, YB DOUBLE, Q1 QUADRUPLE, etc.

TREE SUMMARY TABLE
DESCRIPTION: RIDGELINE 'A', RIDGELINE 'B', OUTSIDE RIDGELINES, TOTAL
TREES TO BE REMOVED: 107, 271, 733, 1,111

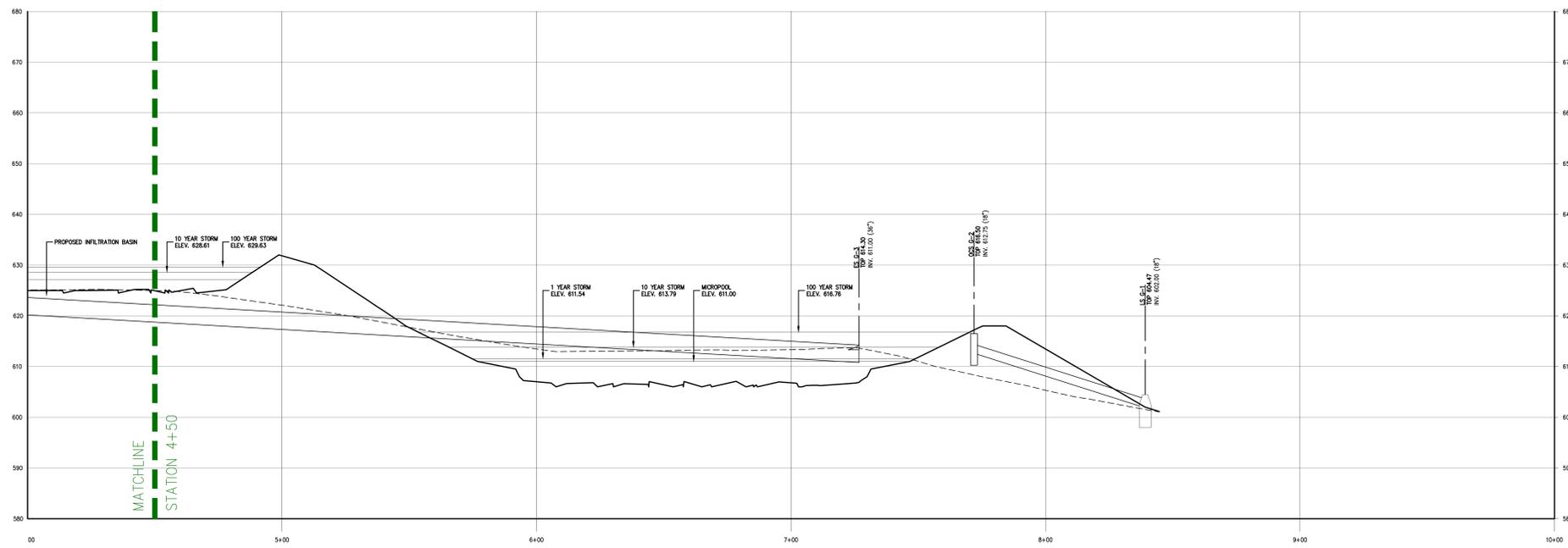
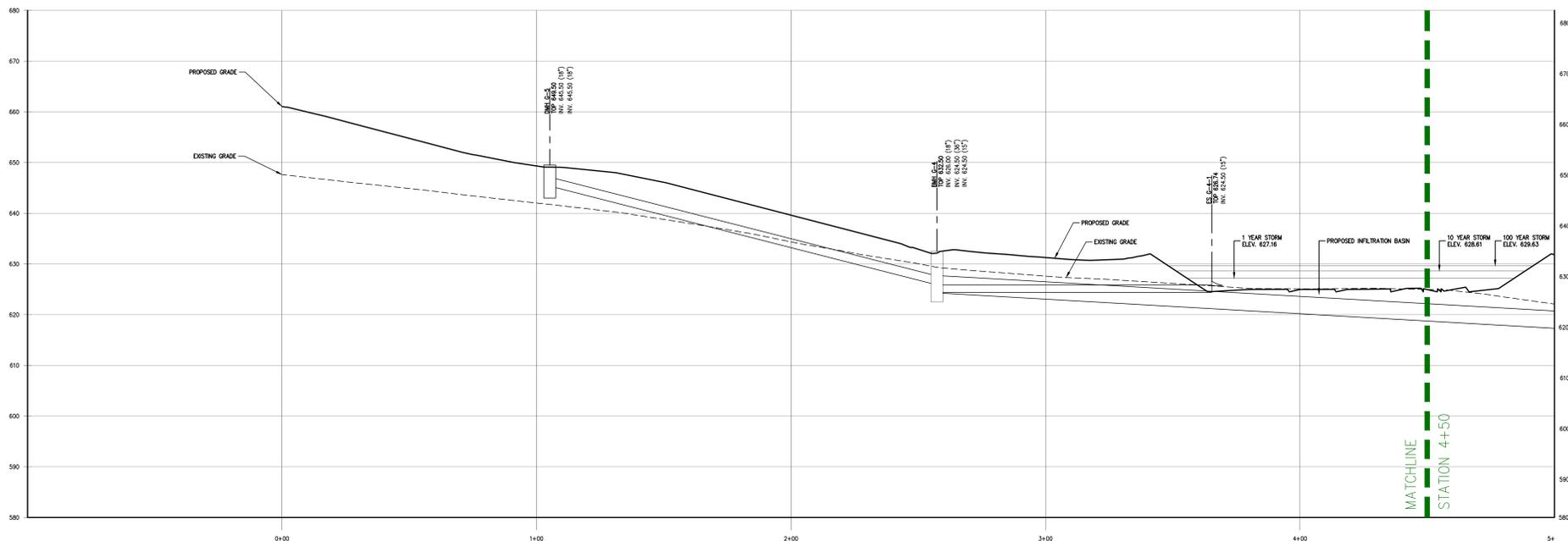
Revision table with columns: No., Date, Description. Includes entries for 1, 2, 3, 4 with dates like 05/18/2018 and descriptions like 'FEES COMPLETED SUBMISSION'.

PUTNAM SEABURY PARTNERS, L.P.
120 BELFRAGE ROAD - WATKINS, NY 13154
VOICE 315.423.5243 - FAX 315.423.2702
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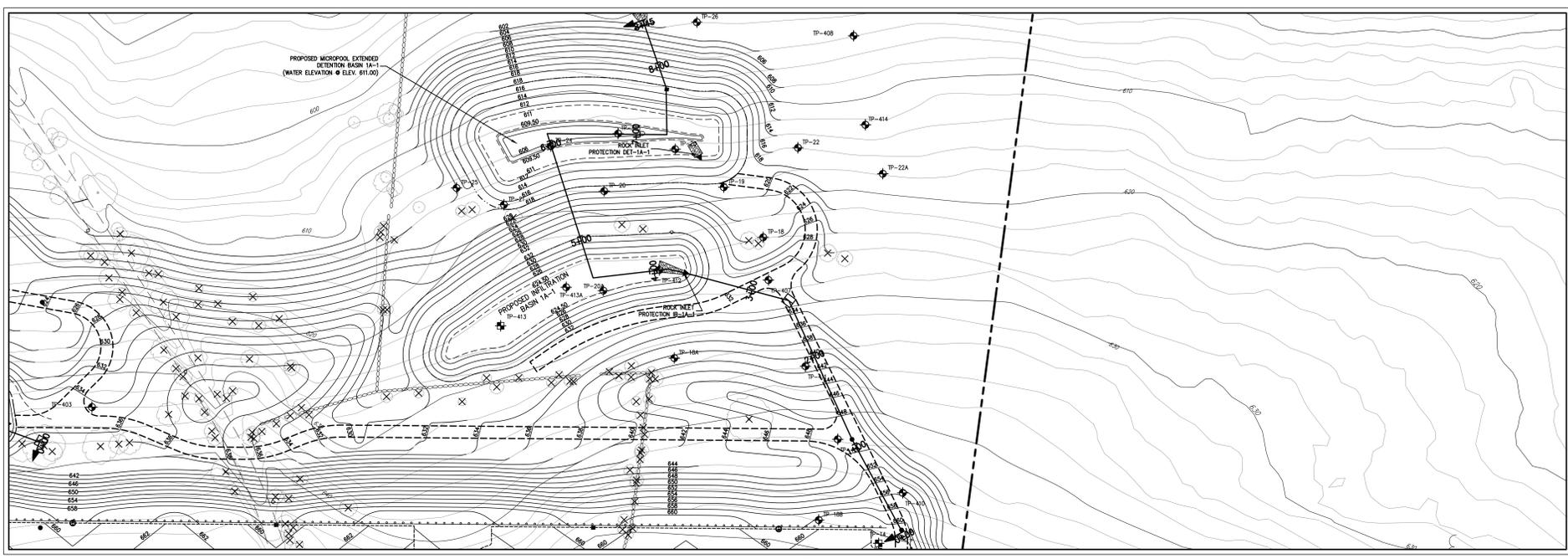


TREE AND FOREST PRESERVATION LIST
COMMERCIAL CAMPUS AT FIELDS CORNER
TOWN OF SOUTH-EAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209.3 SUBSECTION 2.
Drawn: KRM Approved: RJP
Scale: NOT TO SCALE
Date: 05/11/2018
Project No: 14012
NO. REVISION: TREE LIST B (A, THE RECORD)
Drawing No: C-712



BASIN 1A-1  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



PLAN VIEW  
 SCALE: 1" = 50'

NOT FOR CONSTRUCTION

No.	1.	REVISED PER NYSDOT COMMENTS
-----	----	-----------------------------

By	KRM
Date	10/17/2020
Revision	COMMENTS

APPLICATION OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

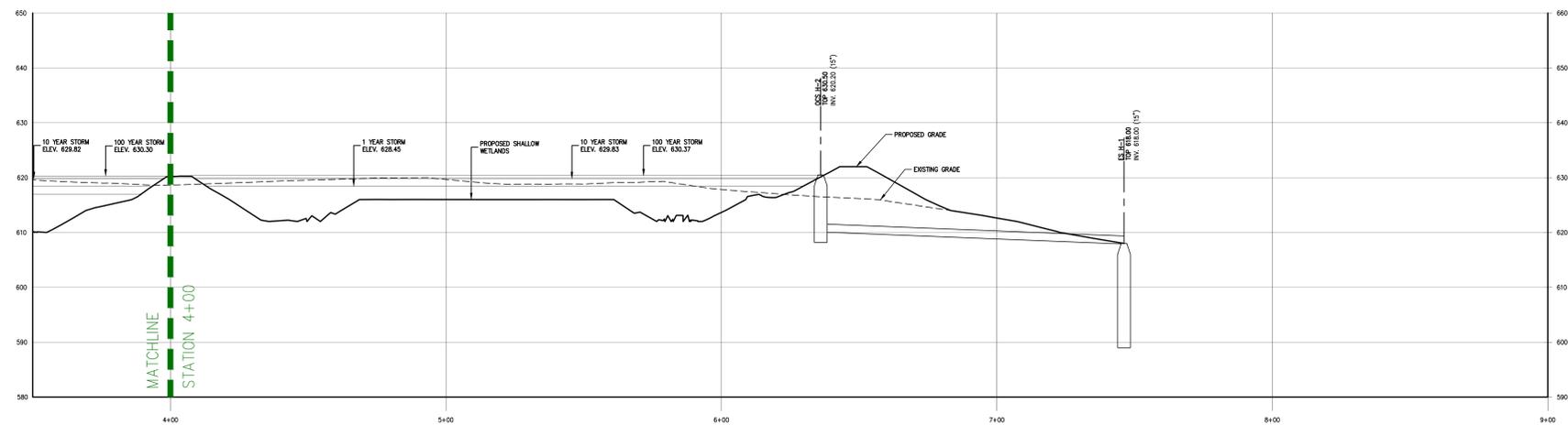
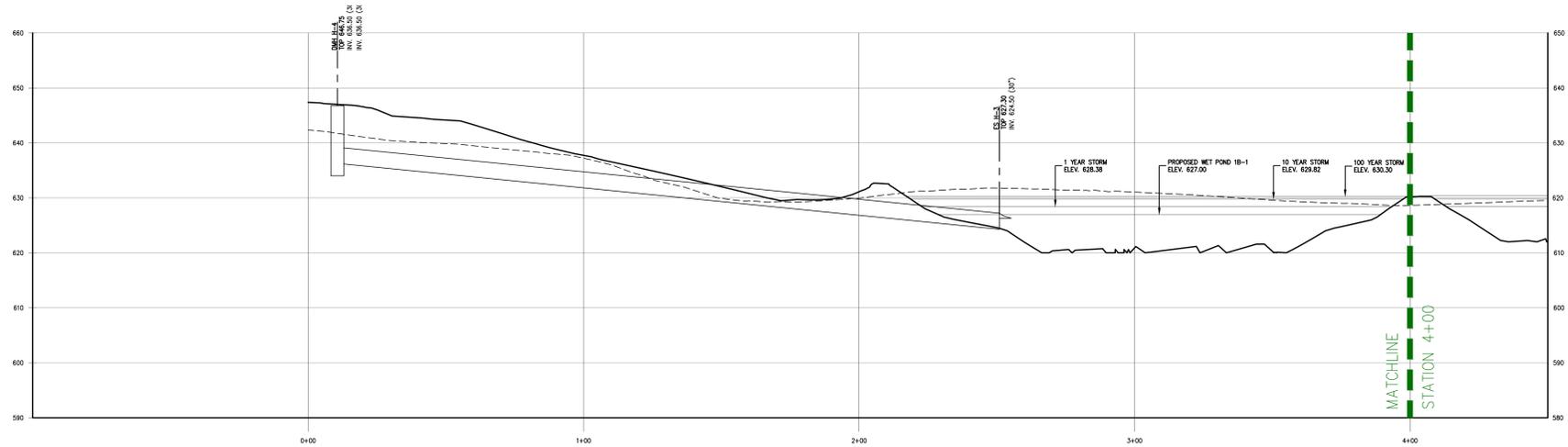
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC  
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 voice 914.233.5243 • fax 914.273.2192  
 www.jmcpllc.com



STORMWATER MANAGEMENT  
 AREA PROFILES: 1A-1  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

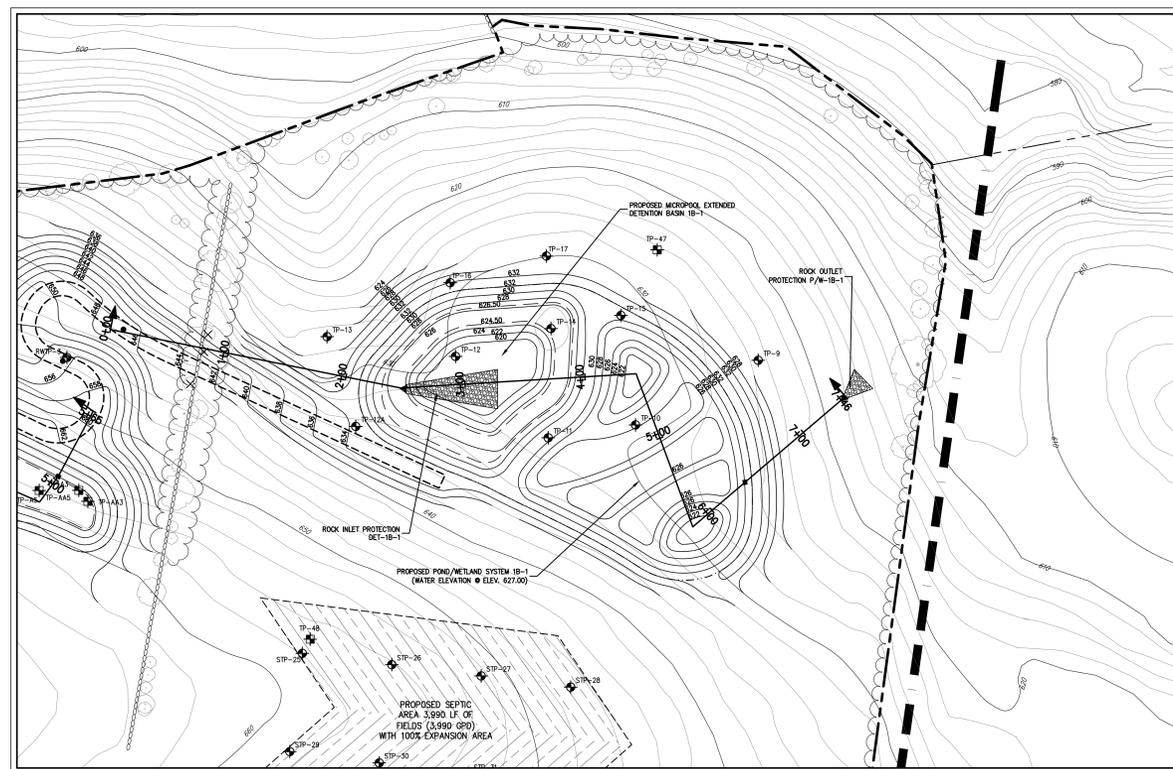
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Drawn	KRM	Approved	R.P.
Scale	AS SHOWN		
Date	12/06/2019		
Project No.	14012		
Sheet	BASIN 1A-1	SECTION	BASIN 1A-1
Drawing No.	C-801		



**BASIN 1B-1**

HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



**PLAN VIEW**

SCALE: 1" = 50'

NOT FOR CONSTRUCTION

CONTRACT NO. 14012 FOR STORMWATER MANAGEMENT AND SEWAGE TREATMENT PLANT IMPROVEMENTS AT COMMERCIAL CAMPUS AT FIELDS CORNER, TOWN OF SOUTHEAST, NEW YORK. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION.

No.	Revision	Date
1.	REVISED PER NYSED COMMENTS	06/17/2019

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

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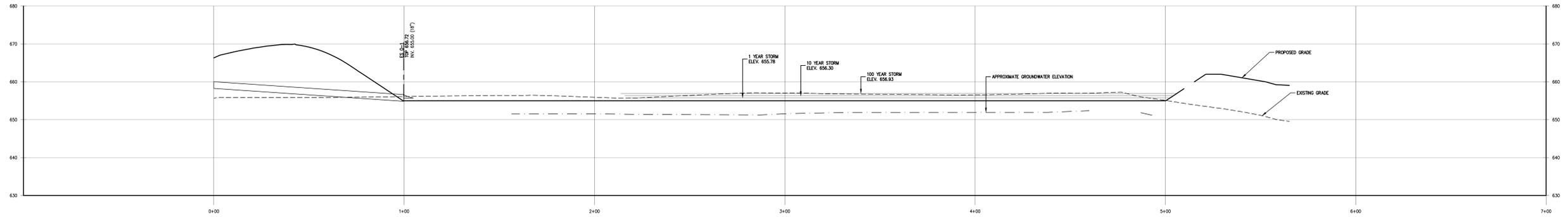


**STORMWATER MANAGEMENT  
 AREA PROFILES: 1B-1**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

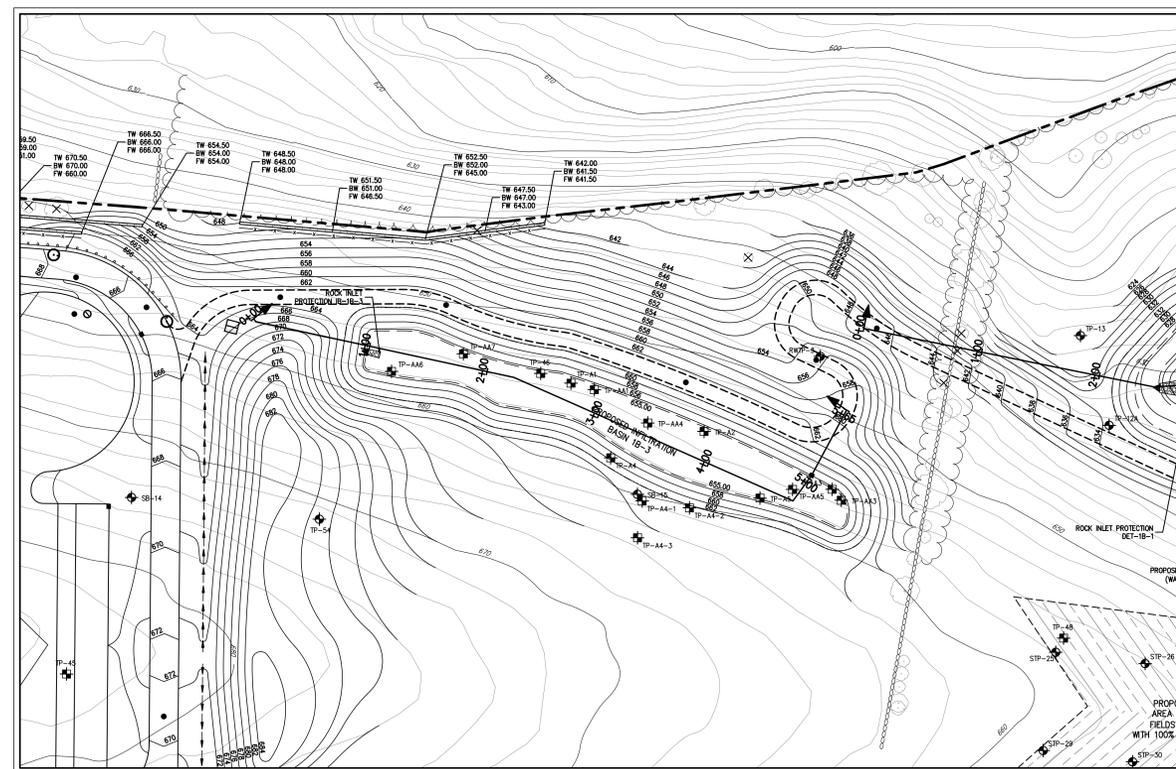
Drawn: KSM	Approved: R.P.
Scale: AS SHOWN	
Date: 12/06/2019	
Project No: 14012	
Sheet No: BASIN 1B-1	TOTAL SHEETS: 10

**C-802**



**BASIN 1B-3**

HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



**PLAN VIEW**

SCALE: 1" = 50'

NOT FOR CONSTRUCTION

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No.	Revision	Date	By
1.	REVISED PER NYSED COMMENTS	10/17/2020	KSM

APPLICATION OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

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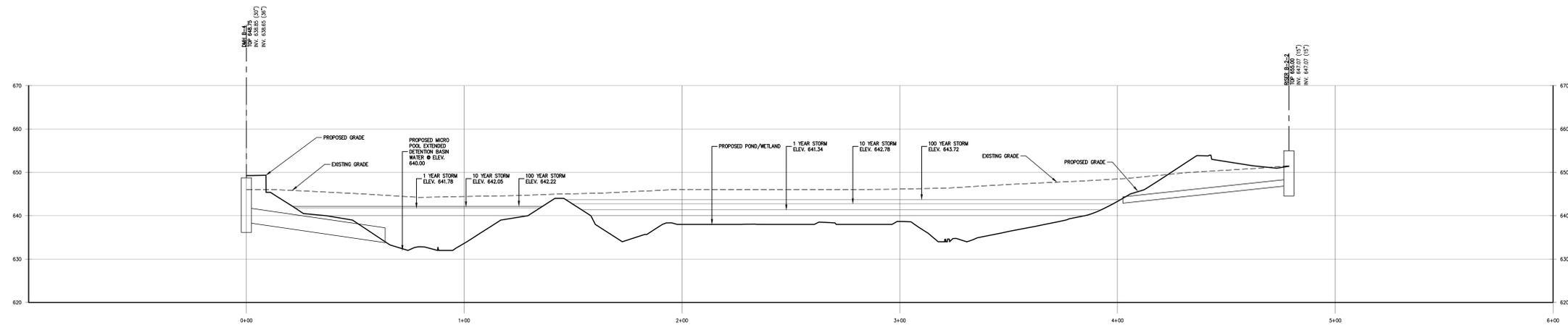


**STORMWATER MANAGEMENT  
 AREA PROFILES: 1B-3**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

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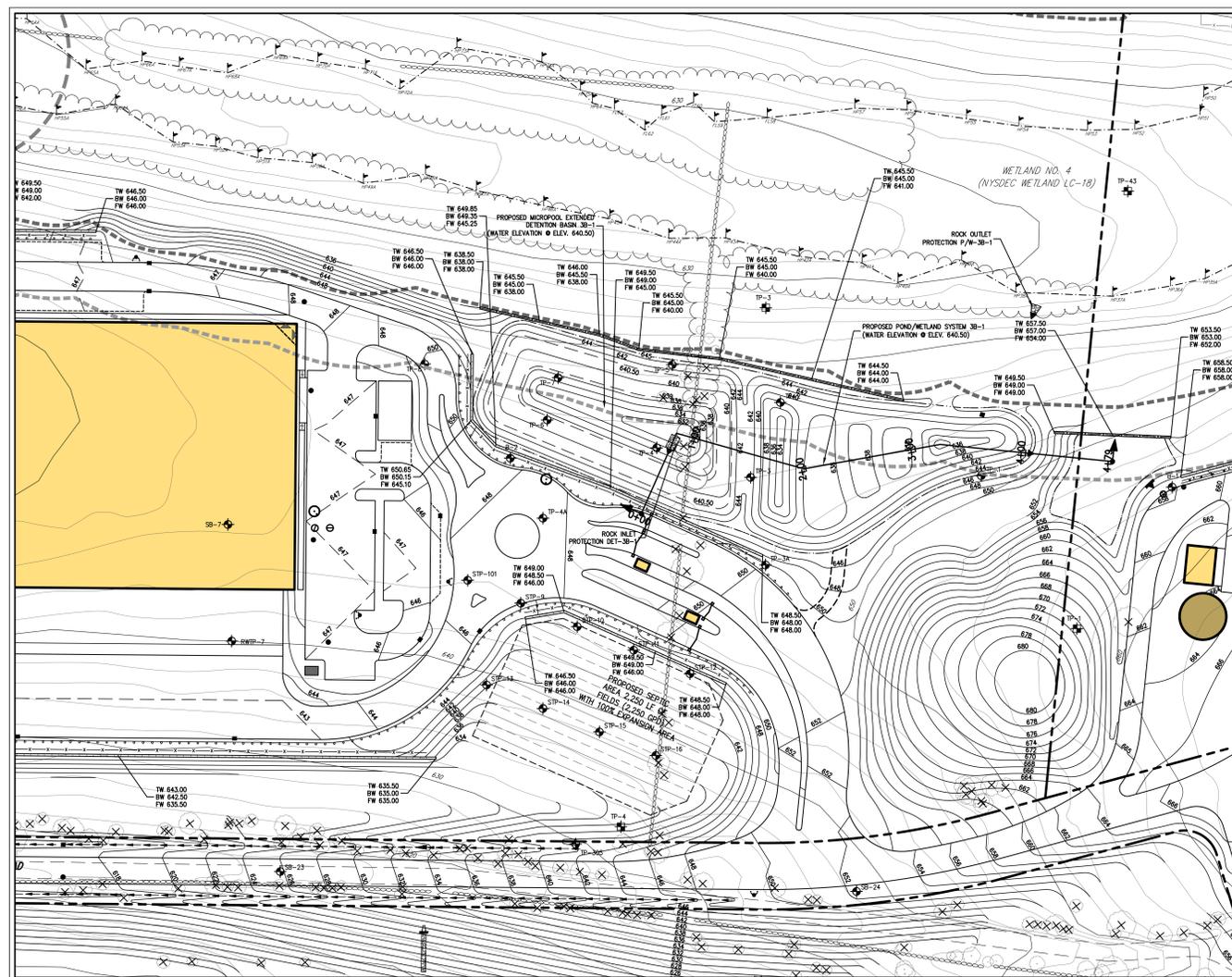
Drawn: **KSM** Approved: **R.P.**  
 Scale: **AS SHOWN**  
 Date: **12/06/2019**  
 Project No: **14012**

NO. 23306-KSM BASIN 1B-3 SECTION 800K.dwg  
 Drawing No:  
**C-803**



**BASIN 3B-1**

HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



**PLAN VIEW**  
 SCALE: 1" = 50'

NOT FOR CONSTRUCTION

CONTRACT NO. 14012 FOR THE DESIGN AND CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM AT THE COMMERCIAL CAMPUS AT FIELDS CORNER, TOWN OF SOUTHEAST, NEW YORK. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF JMC PARTNERS, L.P. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JMC PARTNERS, L.P.

No.	Revision	Comments	Date	By
1.	REVISED PER NYDEC COMMENTS		06/17/2019	KSM

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

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 Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - ARBONIA, NY 10584  
 voice 914.233.5243 • fax 914.273.2192  
 www.jmcplc.com

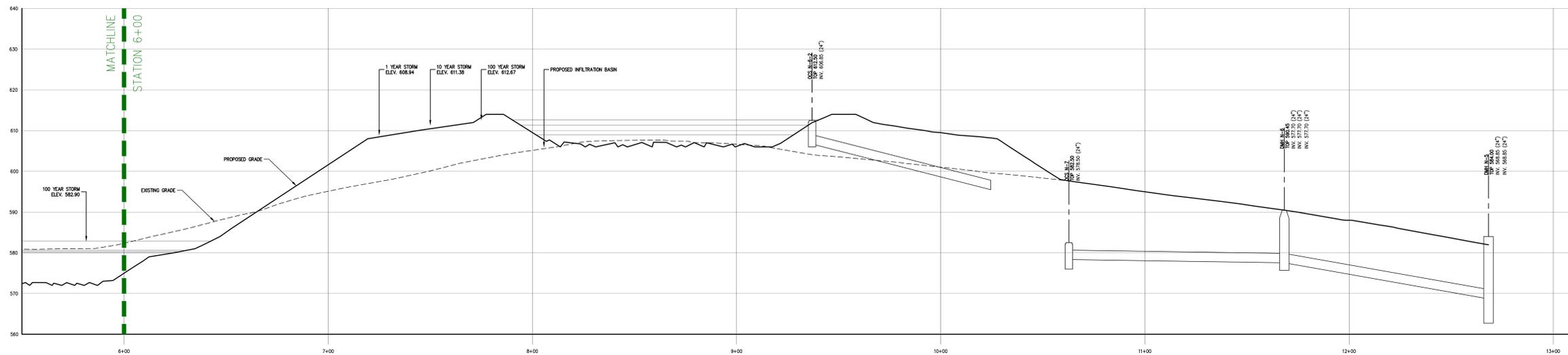
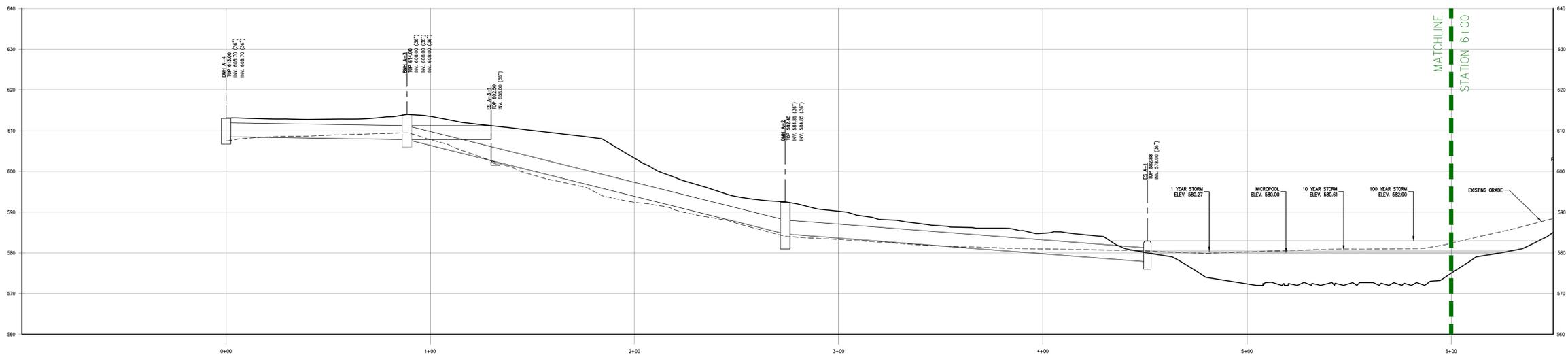


**STORMWATER MANAGEMENT  
 AREA PROFILES: 3B-1**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHEAST, NEW YORK

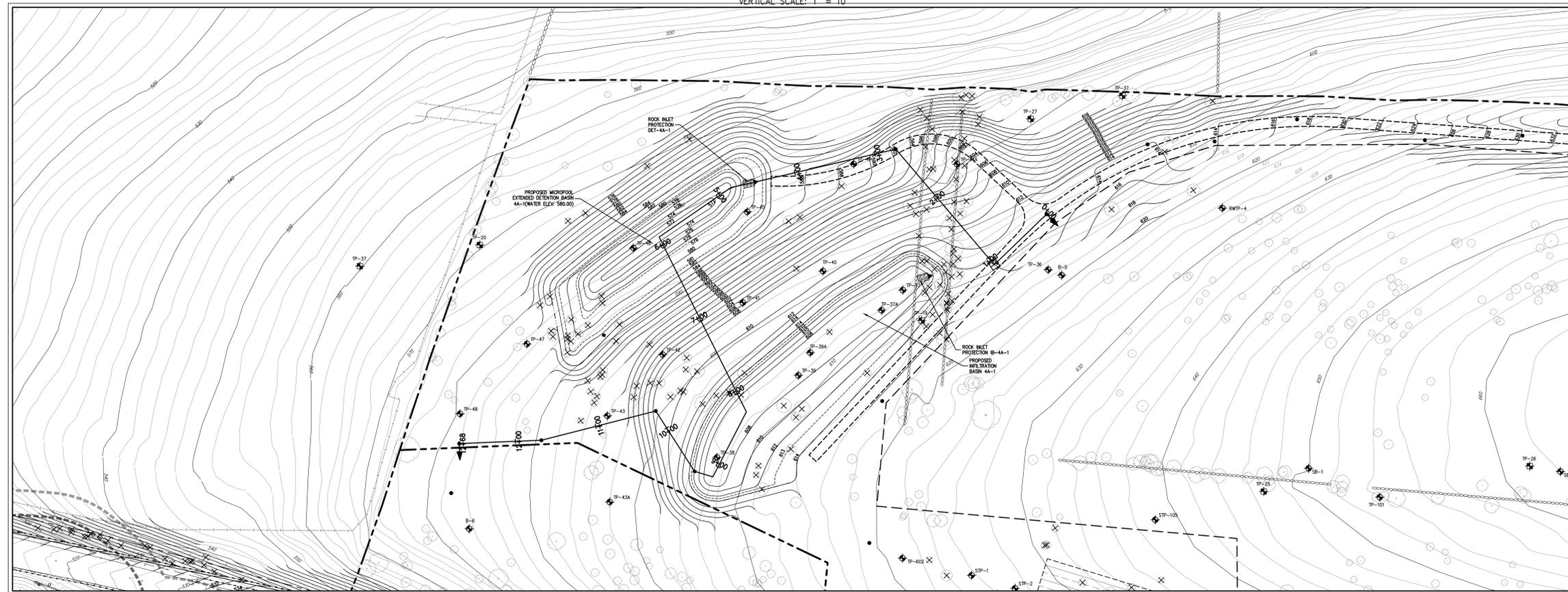
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 SPECIFICATIONS, PLATS AND  
 REPORTS BEARING THE SEAL  
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 SURVEYOR IS A VIOLATION OF  
 SECTION 7209 OF THE NEW  
 YORK STATE EDUCATION LAW,  
 EXCEPT AS PROVIDED FOR BY  
 SECTION 7209, SUBSECTION 2.

Drawn	KSM	Approved	R.P.
Scale	AS SHOWN		
Date	12/06/2019		
Project No.	14012		
NO. 14012-001	BASIN 3B-1	SECTION 7209, SUBSECTION 2	
Drawing No.			

**C-804**



BASIN 4A-1  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



PLAN VIEW  
 SCALE: 1" = 50'

NOT FOR CONSTRUCTION

No.	1.	REVISED PER NYSED COMMENTS
-----	----	----------------------------

By	KSM
Date	06/17/2019

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

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 JMC Site Development Consultants, Inc.  
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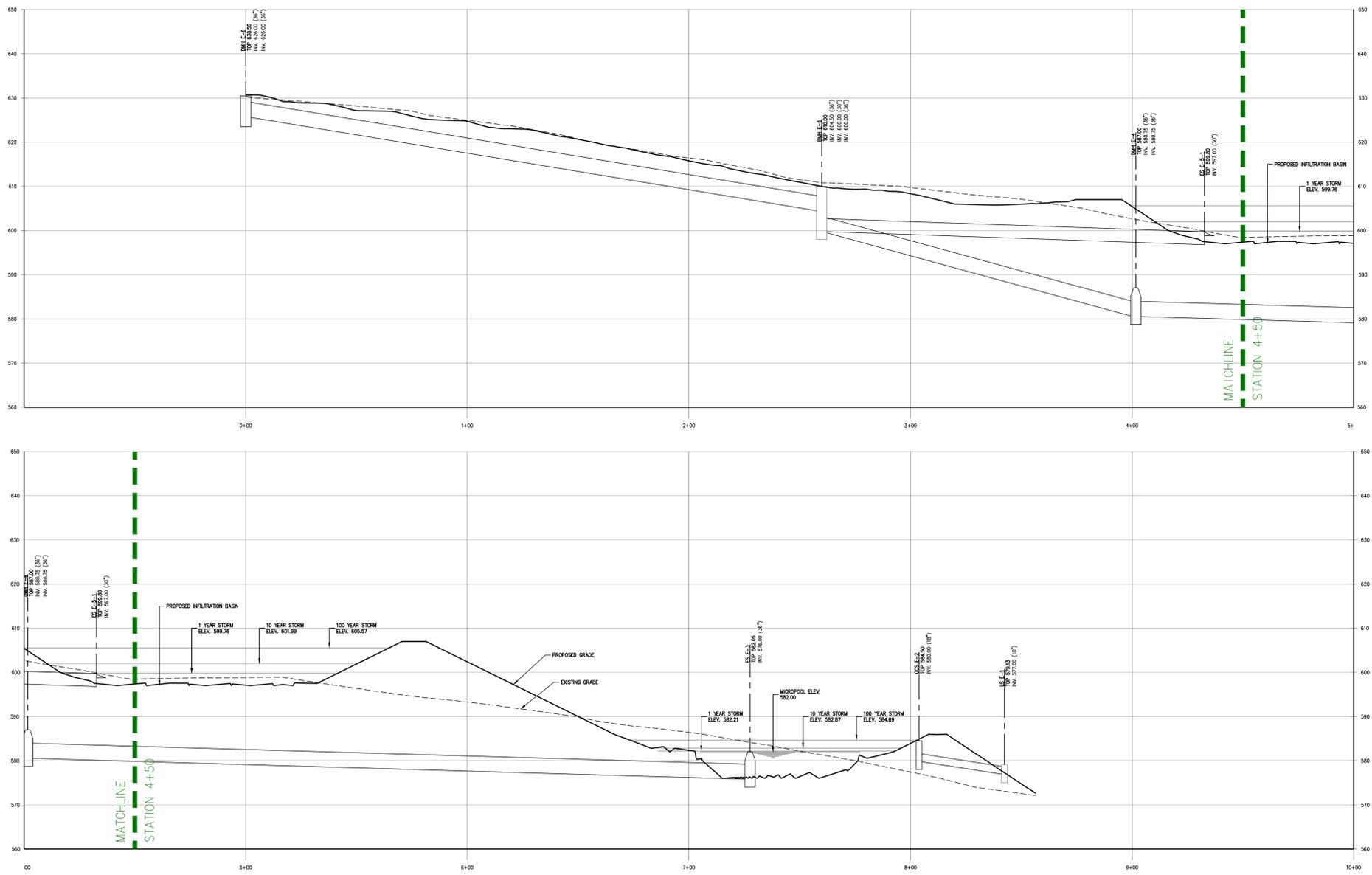
STORMWATER MANAGEMENT  
 AREA PROFILES: 4A-1  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

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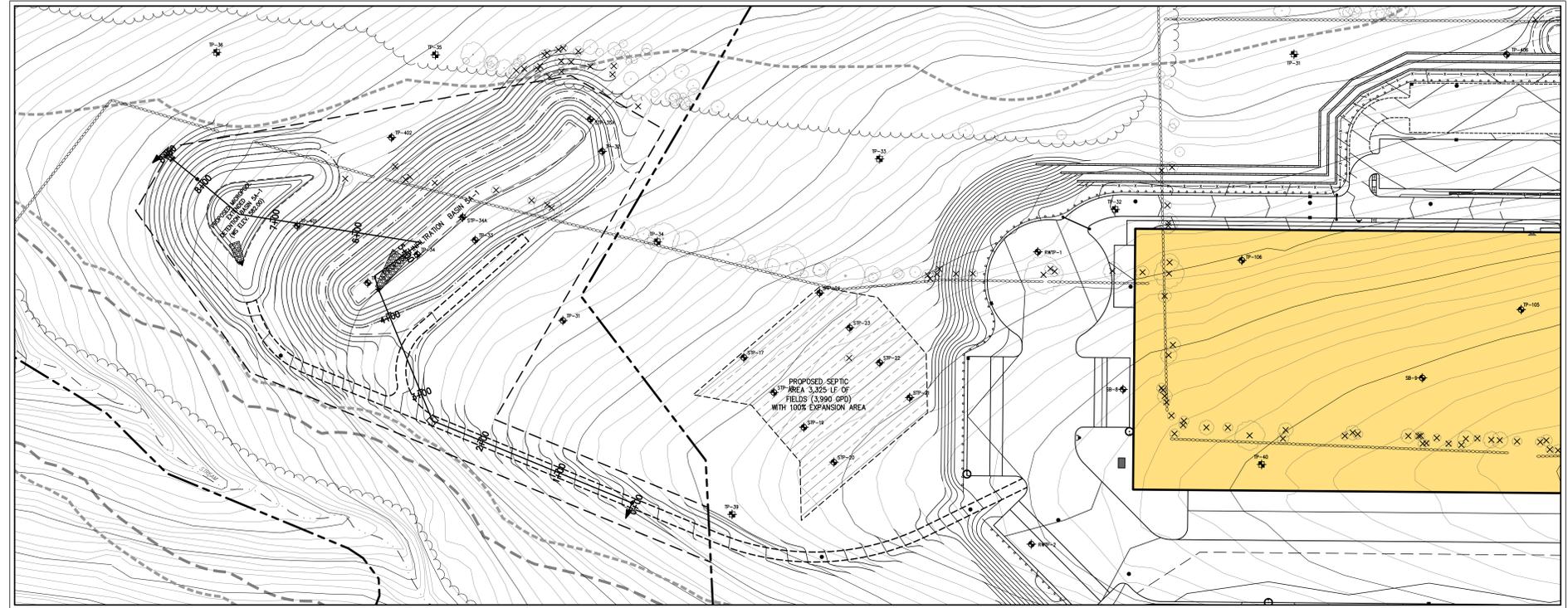
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Scale	AS SHOWN		
Date	12/06/2019		
Project No.	14012		
Sheet No.	BASIN 4A-1	SECTION NUMBER	
Drawing No.			

C-805

NOT FOR CONSTRUCTION



BASIN 5A-1  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 10'



PLAN VIEW  
 SCALE: 1" = 60'

No.	1.	REVISED PER NOISE COMMENTS	By	KSM
Date	10/17/2020			
Revision	COMMENTS			

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

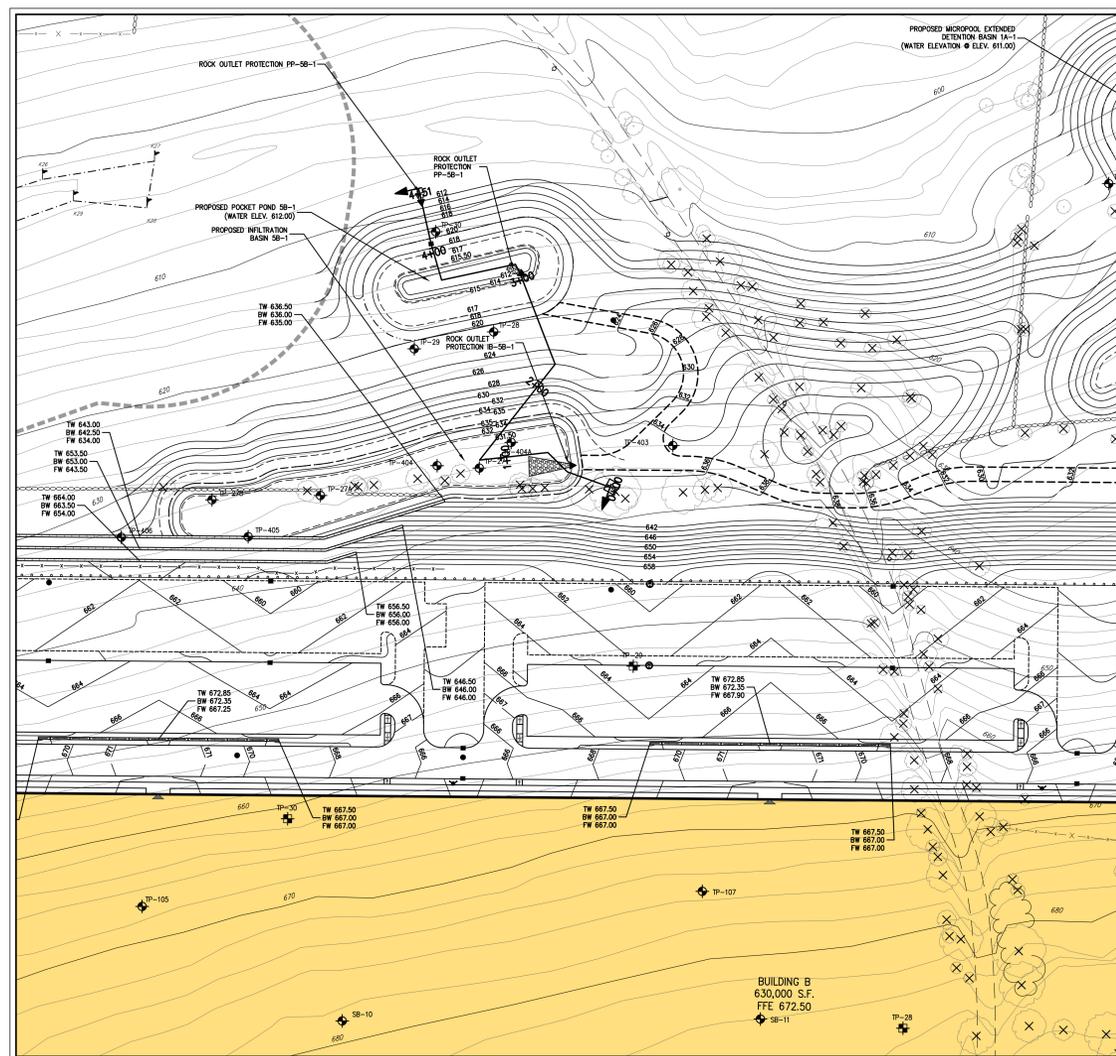
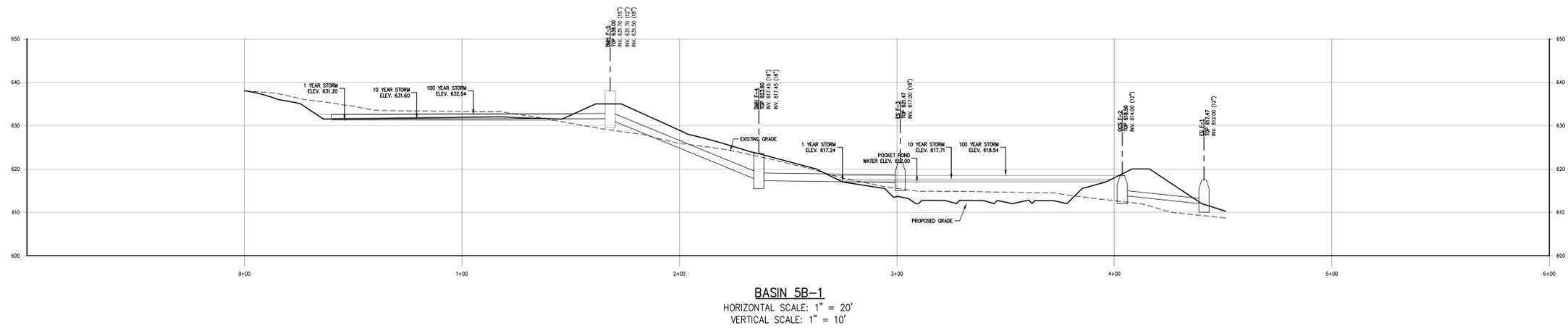
JMC Planning, Engineering, Landscape  
 Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
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 120 BEAUFORT ROAD - ARMONK, NY 10504  
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STORMWATER MANAGEMENT  
 AREA PROFILES: 5A-1  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTHEAST, NEW YORK

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Scale	AS SHOWN		
Date	12/06/2019		
Project No.	14012		
Sheet No.	BASIN 5A-1 SECTION 5A-1		
Drawing No.	C-806		



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No.	Revision	Date
1.	REVISED PER NYSED COMMENTS	06/17/2020

APPLICANT/OWNER:  
**PUTNAM SEABURY PARTNERS, L.P.**  
 287 KING STREET  
 CHAPPAQUA, NY 10514

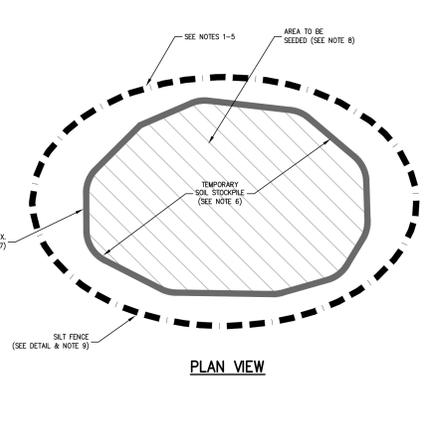
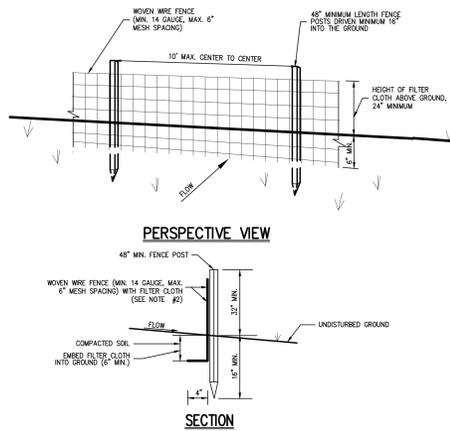
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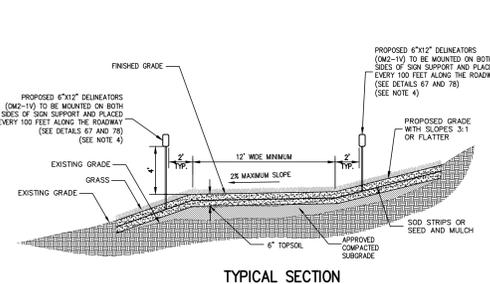
**STORMWATER MANAGEMENT  
 AREA PROFILES: 5B-1**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
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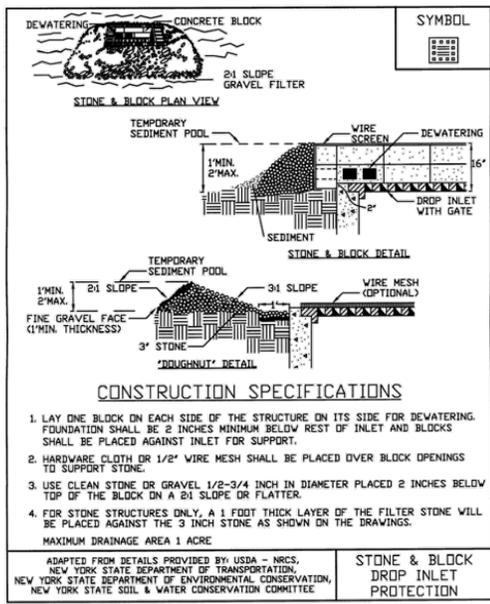
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Scale: <b>AS SHOWN</b>	
Date: <b>12/06/2019</b>	
Project No: <b>14012</b>	
Sheet: <b>BASIN 5B-1</b>	SECTION: <b>BASIN 5B-1</b>
<b>C-807</b>	



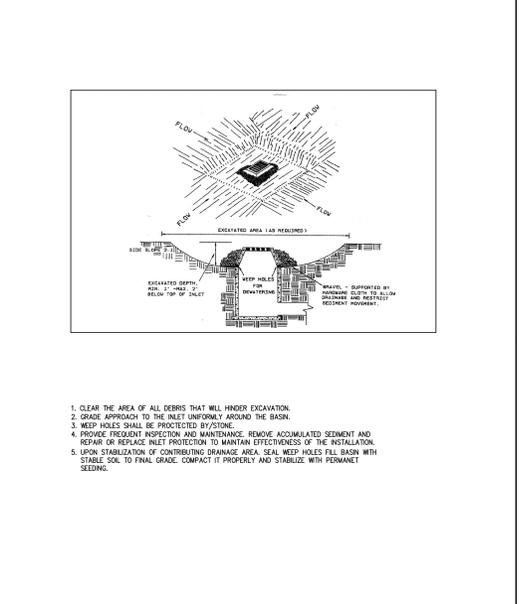
- NOTES:**
1. WHEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER T OR U TYPE OR HARDWOOD.
  2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE 24" HIGH WITH 6" MAXIMUM MESH OPENING.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, WEAR 1000, STABILINKA TRAK, OR APPROVED EQUAL.
  4. PRE-FABRICATED UNITS SHALL BE ODFAB, ENVIRONMENT, OR APPROVED EQUAL.
  5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BOULDS" DEVELOP IN THE SILT FENCE.
  6. THE AREA CHOSEN FOR ALL TEMPORARY SOIL STOCKPILES SHALL BE DRY AND STABLE.
  7. ALL STOCKPILED SOIL SHALL NOT CONTAIN SLOPES GREATER THAN 2:1.
  8. UPON COMPLETION OF SOIL STOCKPILES, EACH PILE SHALL BE SEEDED WITHIN 24 HOURS. PERENNIAL OR ANNUAL RYEGRASS SHALL BE PLANTED DURING SPRING, SUMMER OR EARLY FALL. WINTER RYE (CEREAL RYE) SHALL BE PLANTED DURING LATE FALL OR EARLY WINTER.
  9. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED AROUND THE PERIMETER.



- NOTES:**
1. IMMEDIATELY AFTER GRADING OPERATIONS, THE MAINTENANCE ACCESS ROAD SHALL BE STABILIZED WITH SOD OR SEED CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 25% CREeping RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
  2. MAXIMUM SLOPE OF NO MORE THAN 10% AND BE APPROPRIATELY STABILIZED TO WITHSTAND MAINTENANCE EQUIPMENT AND VEHICLES.
  3. AREA ADJACENT TO ACCESS ROUTE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED. TOPSOIL, SEEDS AND MAINTAINED FOR EROSION CONTROL.
  4. PROPOSED DELINEATORS SHALL BE PLACED 2 FEET FROM THE EDGE OF THE MAINTENANCE ACCESS ROAD AT A HEIGHT OF 4 FEET ABOVE THE ROADWAY. DELINEATORS SHALL BE PLACED EVERY 100 FEET ALONG THE MAINTENANCE ACCESS ROAD.



**STONE & BLOCK DROP INLET PROTECTION**



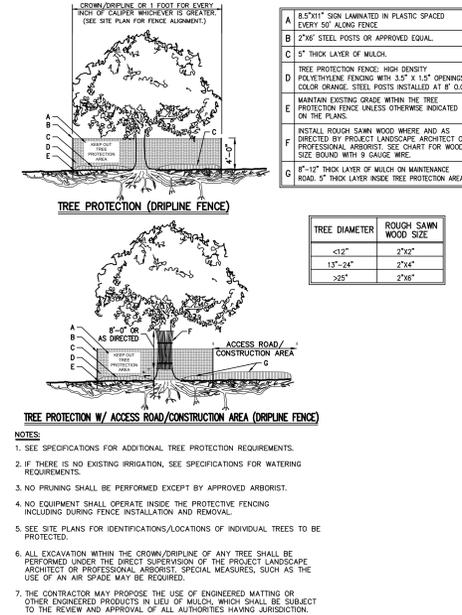
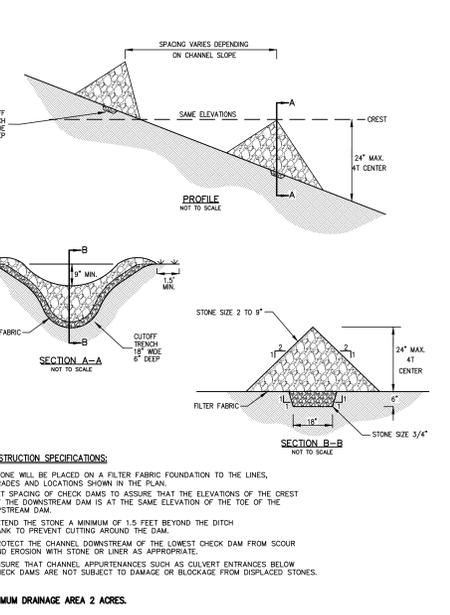
**EXCAVATED DROP INLET PROTECTION**

**TEMPORARY SOIL STOCKPILE WITH SILT FENCE**

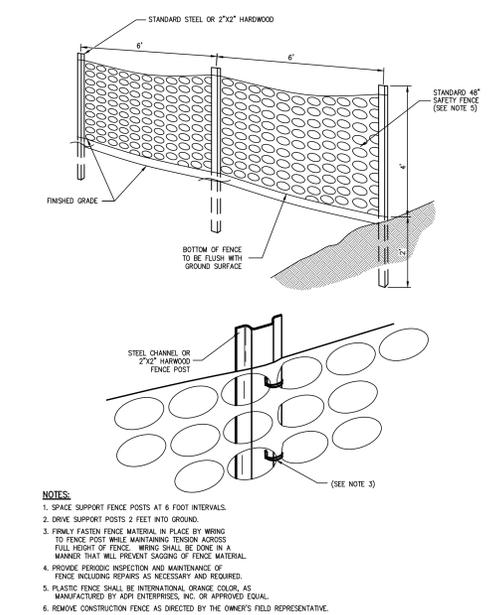
**MAINTENANCE ACCESS ROAD**

**STONE & BLOCK DROP INLET PROTECTION**

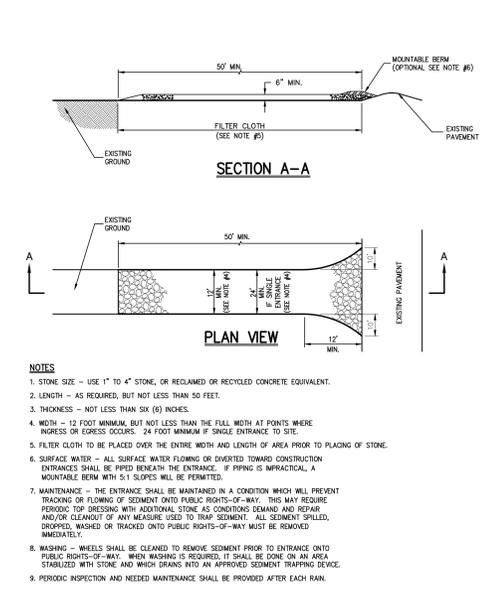
**EXCAVATED DROP INLET PROTECTION**



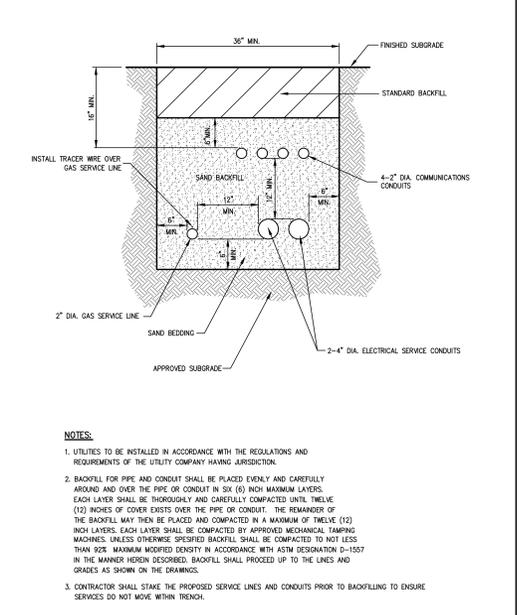
- NOTES:**
1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
  2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
  3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  5. SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
  6. ALL EXCAVATION WITHIN THE CROWN/DRILL PIPE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPREADER, ARE REQUIRED.
  7. THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.



- NOTES:**
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
  2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
  3. FORMLY FASTENED FENCE MATERIAL IN PLACE BY WRING TO FENCE POST WHILE MAINTAINING TENSILE STRENGTH.
  4. FULL HEIGHT OF FENCE, INCLUDING SILLING, SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
  5. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
  6. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY ADH ENTERPRISES, INC. OR APPROVED EQUAL.
  7. REMOVE CONSTRUCTION FENCE AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE.



- NOTES:**
1. STONE SIZE - USE 1/2" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
  4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24 FOOT MINIMUM IF GRADE DRAINAGE TO SITE.
  5. FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- NOTES:**
1. UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
  2. BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES, UNLESS OTHERWISE SPECIFIED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.
  3. CONTRACTOR SHALL STAKE THE PROPOSED SERVICE LINES AND CONDUITS PRIOR TO BACKFILLING TO ENSURE SERVICES DO NOT MOVE WITHIN TRENCH.

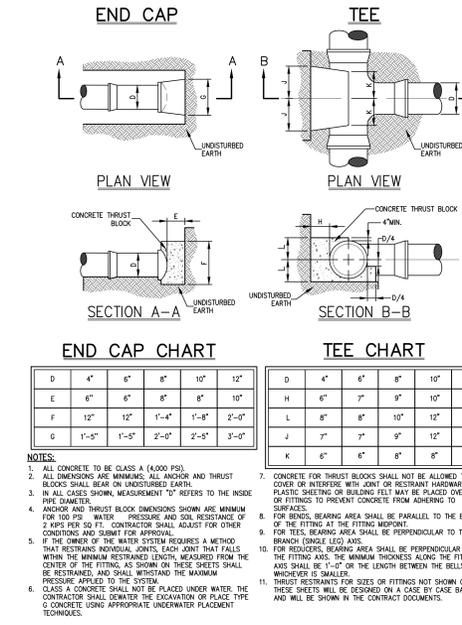
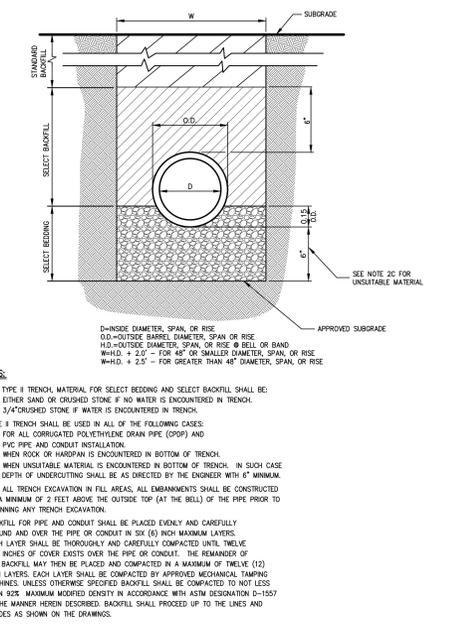
**STONE CHECK DAM**

**TREE PROTECTION**

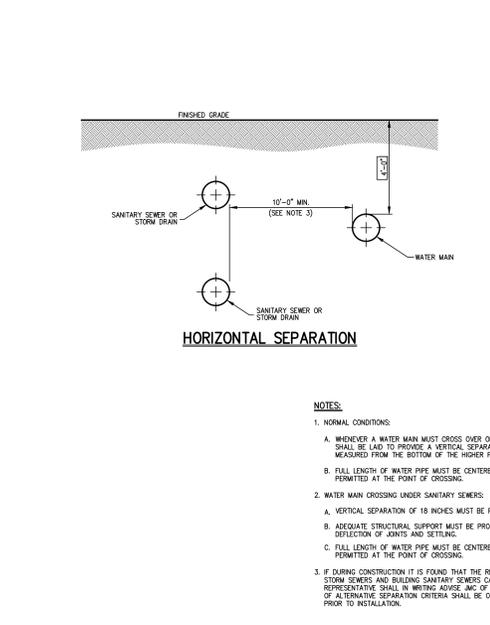
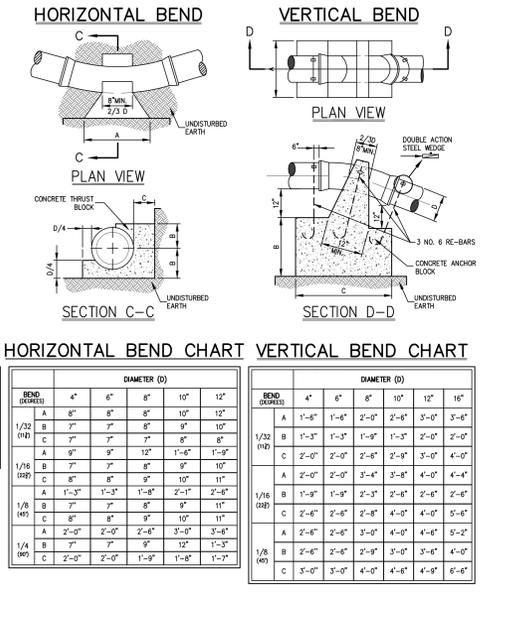
**CONSTRUCTION FENCE**

**STABILIZED CONSTRUCTION ACCESS**

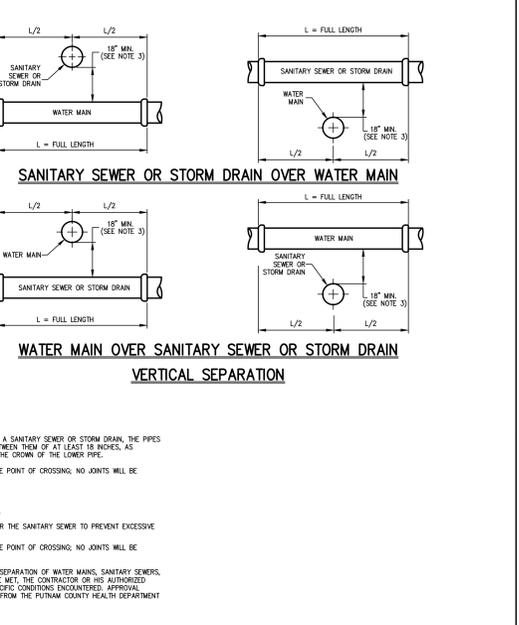
**UTILITY TRENCH DETAIL**



- NOTES:**
1. ALL CONCRETE SHALL BE CLASS A (4000 PSI).
  2. ALL DIMENSIONS ARE MINIMUMS. ALL ANCHOR AND THRUST BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
  3. IN ALL CASES SHOWN, MEASUREMENT "Y" REFERS TO THE INSIDE PIPE DIAMETER.
  4. ANCHOR AND THRUST BLOCK DIMENSIONS SHOWN ARE MINIMUM FOR 100 PSI WATER PRESSURE AND SOIL RESISTANCE OF 2 KIPS PER SQ. FT. CONTRACTOR SHALL ADJUST FOR OTHER CONDITIONS AND SUBMIT FOR APPROVAL.
  5. IF THE OWNER OF THE WATER SYSTEM REQUIRES A METHOD THAT RESTRAINS UNDESIRABLE JOINTS, THAT JOINT THAT FALLS WITHIN THE MINIMUM RESTRAINED LENGTH, MEASURED FROM THE CENTER OF THE FITTING, AS SHOWN ON THESE SHEETS SHALL BE RESTRAINED, AND SHALL WITHSTAND THE MAXIMUM PRESSURE APPLIED TO THE SYSTEM.
  6. CLASS A CONCRETE SHALL BE PLACED UNDER WATER. THE CONTRACTOR SHALL DEMONSTRATE THE EXCAVATION OR PLACE, TYPE, & CONCRETE USING APPROPRIATE UNDERWATER PLACEMENT TECHNIQUES.
  7. CONCRETE FOR THRUST BLOCKS SHALL NOT BE ALLOWED TO COVER OR INTERFERE WITH JOINT OR RESTRAINT HARDWARE. PLASTIC SHEETING OR SILING FELT MAY BE PLACED OVER PIPE OR FITTINGS TO PREVENT CONCRETE FROM ADHERING TO SURFACES.
  8. FOR BELL, BEARING AREA SHALL BE PARALLEL TO THE EDGE OF THE FITTING AND BE FITTING IMPEDANT.
  9. FOR TIES, BEARING AREA SHALL BE PERPENDICULAR TO THE BRANCH (SINGLE LEG).
  10. FOR REDUCERS, BEARING AREA SHALL BE PERPENDICULAR TO THE FITTING AXIS. THE MINIMUM THICKNESS ALONG THE FITTING AXIS SHALL BE 1/4" OR THE LENGTH BETWEEN THE BELLS. WHERE BELLS ARE SMALLER.
  11. THRUST RESTRAINTS FOR SIZES OR FITTINGS NOT SHOWN ON THESE SHEETS WILL BE DECIDED ON A CASE BY CASE BASIS, AND WILL BE SHOWN IN THE CONTRACT DOCUMENTS.



- NOTES:**
1. NORMAL CONDITIONS.
  2. WATER MAIN CROSSING UNDER SANITARY SEWERS:
    - A. ADEQUATE STRUCTURAL SUPPORT MUST BE PROVIDED FOR THE SANITARY SEWER TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING.
    - B. FULL LENGTH OF WATER PIPE MUST BE CENTERED AT THE POINT OF CROSSING; NO JOINTS WILL BE PERMITTED AT THE POINT OF CROSSING.
  3. IF DURING CONSTRUCTION IT IS FOUND THAT THE REQUIRED SEPARATION OF WATER MAINS, SANITARY SEWERS, STORM SEWERS AND BUILDING SANITARY SEWERS CANNOT BE MET, THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL IN WRITING ADVISE THE OWNER OF THE SPECIFIC CONDITIONS ENCOUNTERED. APPROVED ALTERNATIVE SEPARATION CRITERIA SHALL BE OBTAINED FROM THE PUTNAM COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION.



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**TYPE II TRENCH**

**ANCHOR AND THRUST BLOCKS**

**CONSTRUCTION FENCE**

**STABILIZED CONSTRUCTION ACCESS**

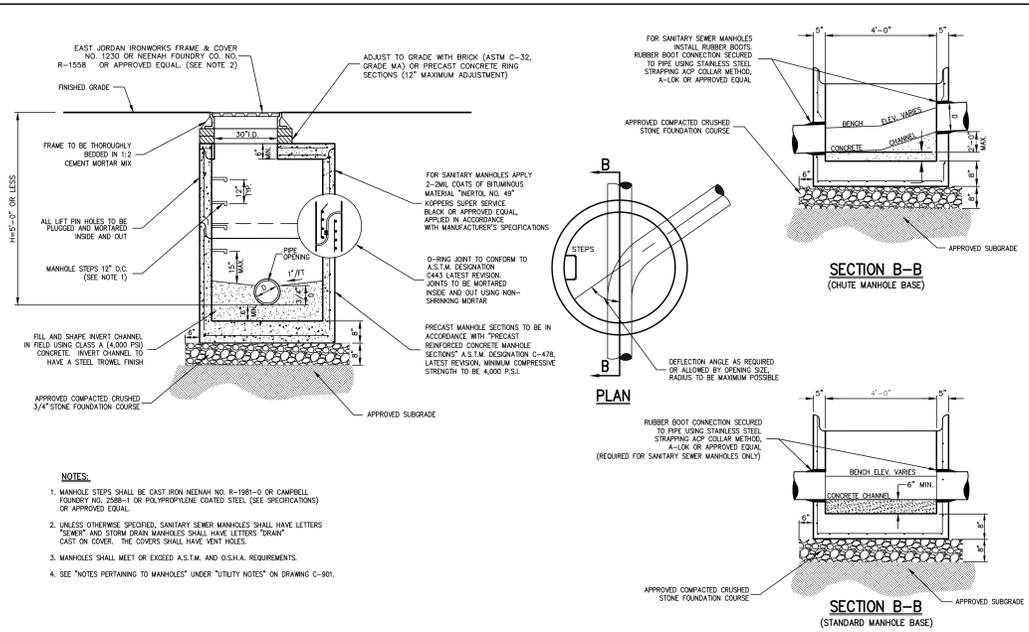
**UTILITY TRENCH DETAIL**

**PUTNAM SEABURY PARTNERS, L.P.**  
 Architects & Land Surveyors, PLLC  
 120 BELLEVILLE ROAD - WESTBORO, MA 01581  
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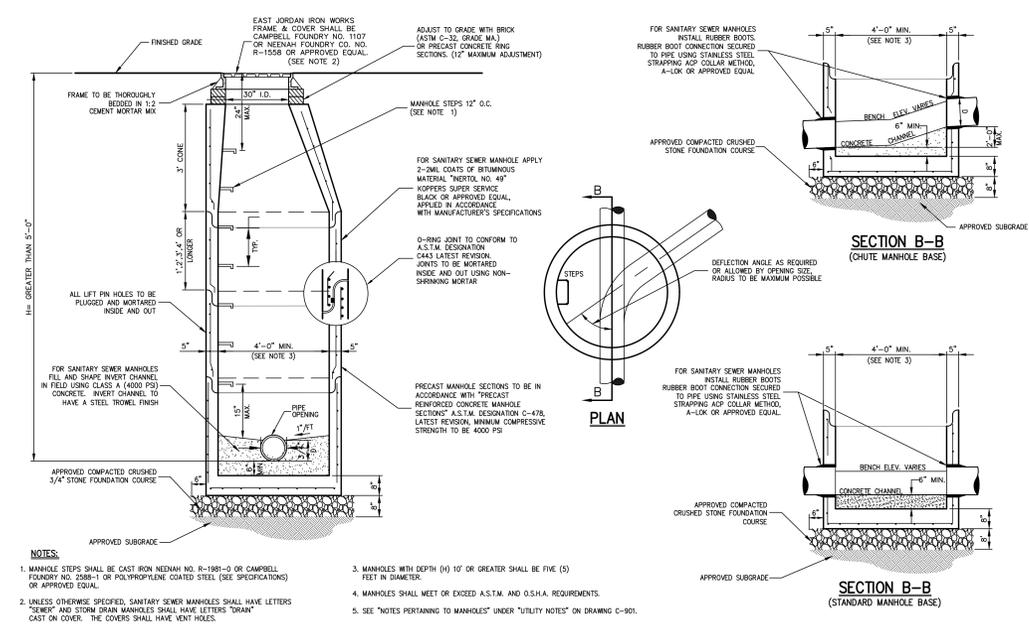
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**CONSTRUCTION DETAILS**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTH-EAST, NEW YORK

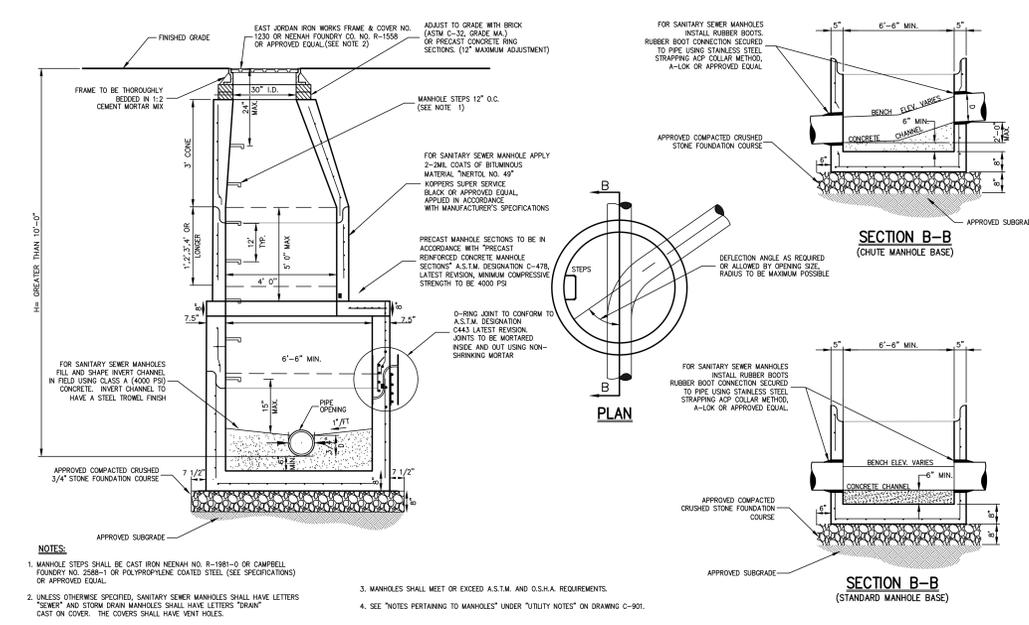
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 Date: **11/06/2017**  
 Project No: **14012**  
 HD-9015 DET-1



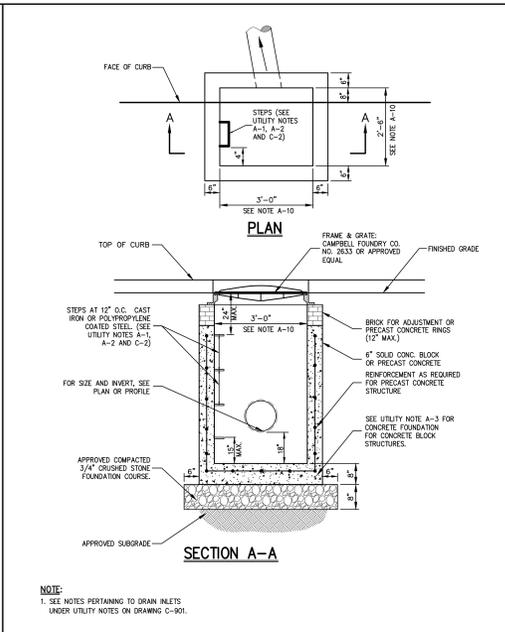
**MANHOLE (TYPE A)** 13



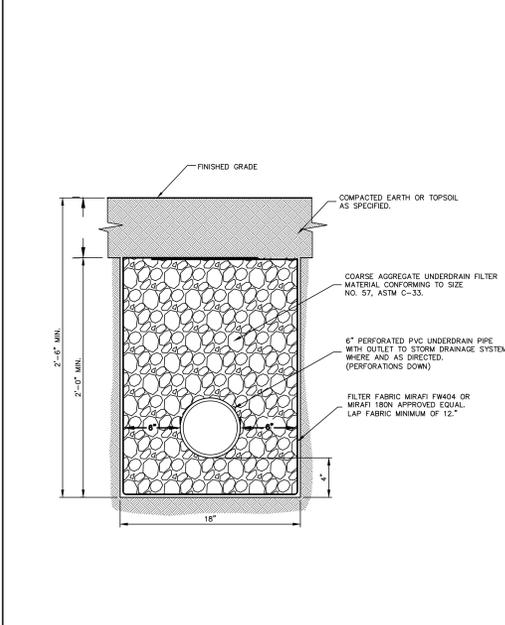
**MANHOLE (TYPE B)** 17



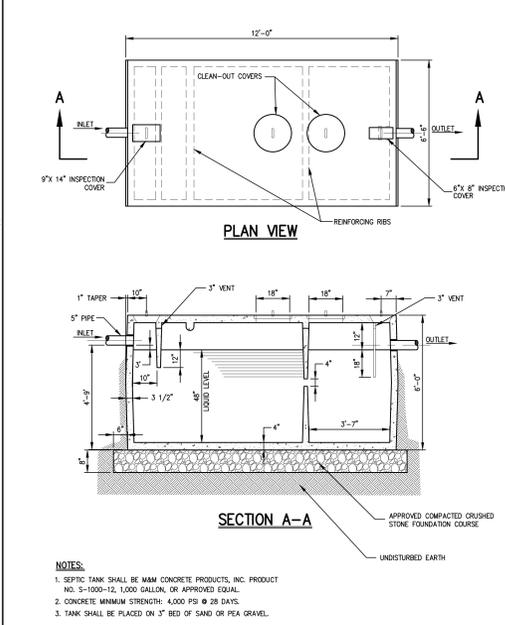
**MANHOLE (TYPE D)** 22



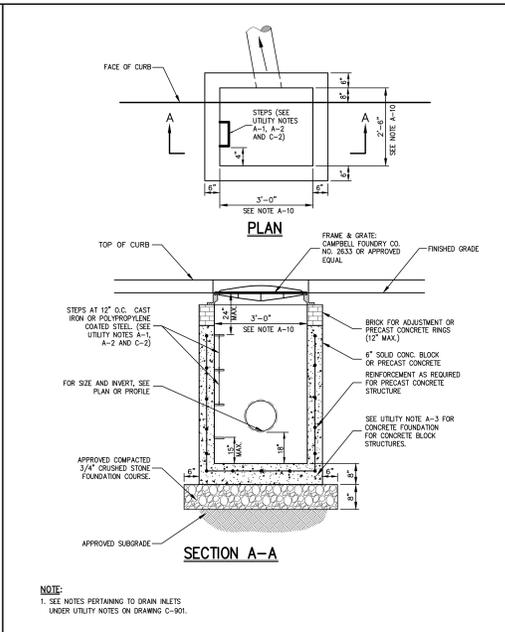
**DRAIN INLET (TYPE CI)** 14



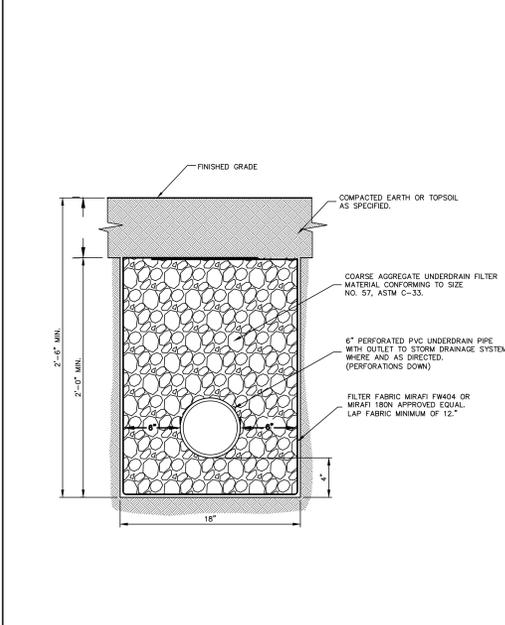
**DRAIN INLET (TYPE DI)** 15



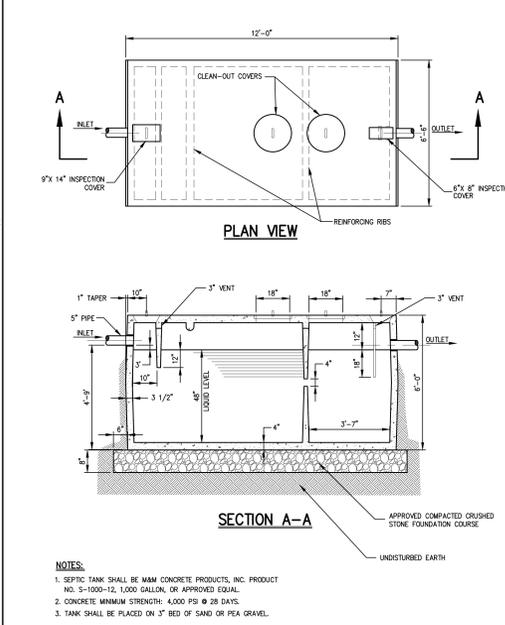
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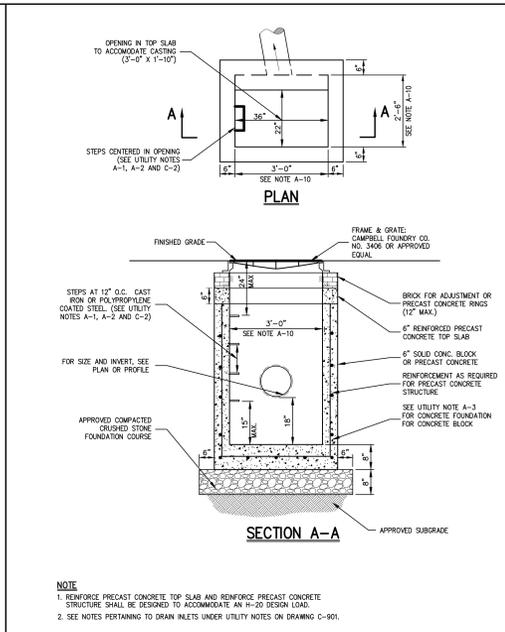
**PIPE UNDERDRAIN** 18



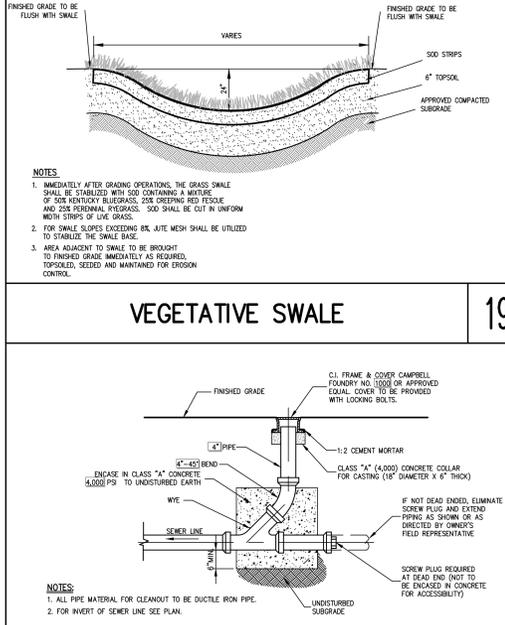
**CLEANOUT WITHOUT MANHOLE** 20



**2,000 GALLON SEPTIC TANK** 23



**HYDRANT INSTALLATION** 24



**DRILLED WELL (DCHD STD)** 25

**STRAIGHT CONCRETE HEADWALL** 16

**NOTES PERTAINING TO DRAIN INLETS**

- STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS SHALL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTH FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FINISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- ALL NECESSARY OPENINGS FOR DRAIN STRUCTURES SHALL BE ACCOMPANIED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SRA-SET AS MANUFACTURED BY THE SRA CHEMICAL CORP.
- FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

**NOTES PERTAINING TO MANHOLES**

- PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONCRETE SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (8" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTLET PIPE.
- INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

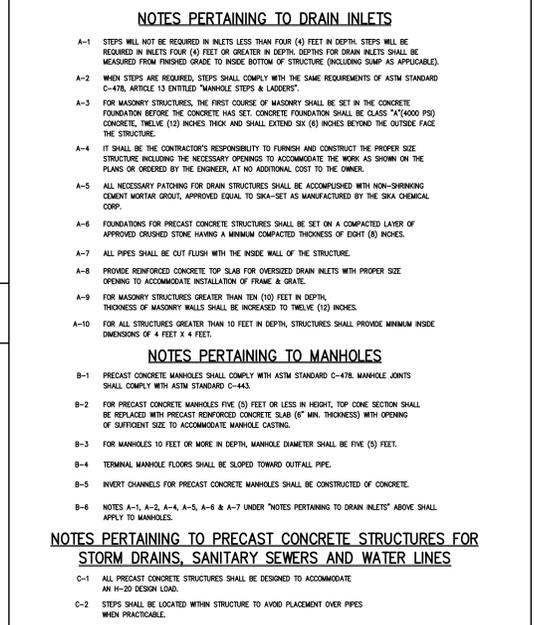
**NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**

- ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

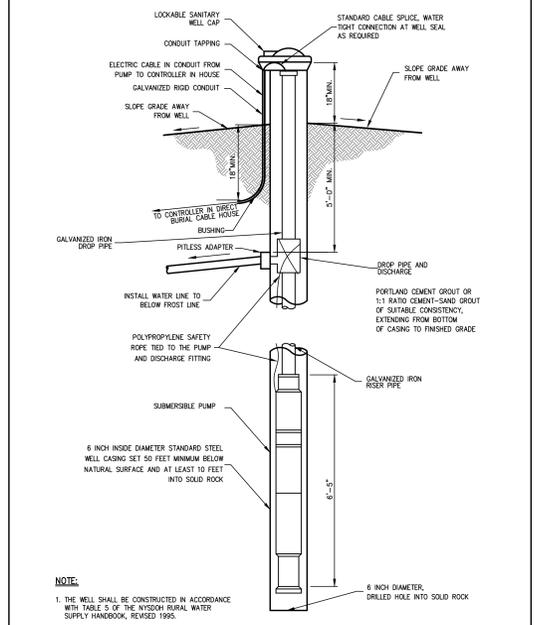
D	C	T	B	B	B
12"	5'-0"	8"	5'-0"	6'-0"	7'-0"
15"	5'-3"	8"	5'-6"	7'-0"	8'-9"
18"	5'-6"	8"	6'-0"	8'-0"	10'-6"
21"	5'-9"	10"	7'-0"	9'-0"	12'-3"
24"	6'-0"	10"	8'-0"	10'-0"	14'-0"
27"	6'-3"	12"	8'-6"	11'-0"	15'-9"
30"	6'-6"	12"	9'-0"	12'-0"	17'-6"
36"	7'-0"	12"	10'-6"	13'-6"	19'-6"
42"	7'-6"	12"	12'-0"	15'-0"	22'-6"
48"	8'-0"	12"	13'-6"	16'-6"	25'-6"
54"	8'-6"	12"	15'-0"	18'-0"	28'-6"

**NOTE A**  
GROUND SLOPE TO BE 3% HORIZONTAL TO 1% VERTICAL UNLESS OTHERWISE SPECIFIED (SEE CHART)

**STRAIGHT CONCRETE HEADWALL** 16



**UTILITY NOTES** 21



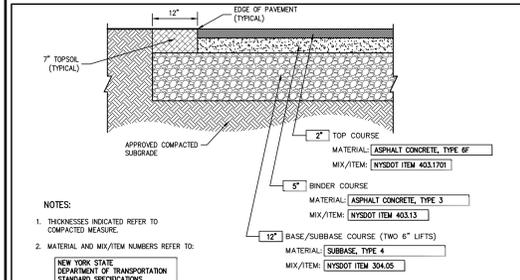
**CONSTRUCTION DETAILS** 21

**NOT FOR CONSTRUCTION**

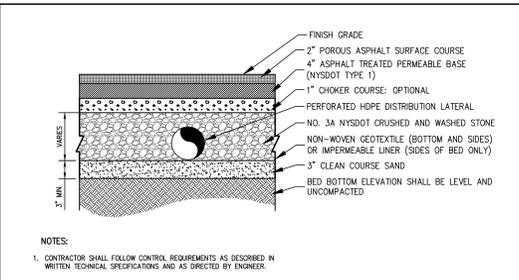
**JMC**  
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consulting, Inc.  
John Mays Consulting, Inc.

**CONSTRUCTION DETAILS**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH-EAST, NEW YORK

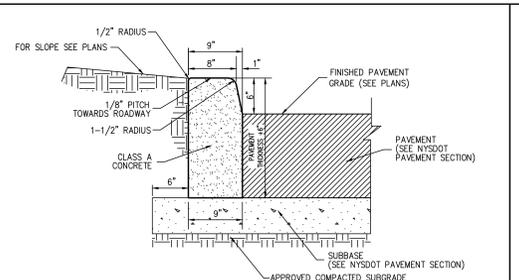
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Scale: NOT TO SCALE  
Date: 11/06/2017  
Project No: 14012  
Sheet No: C-901



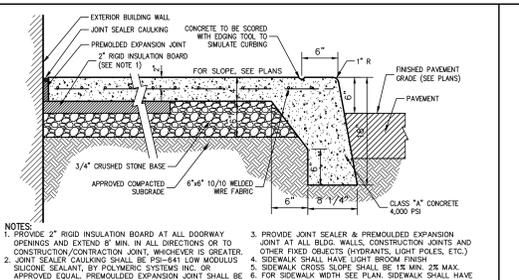
**PUGSLEY ROAD AND ZIMMER ROAD PAVEMENT SECTION** 26



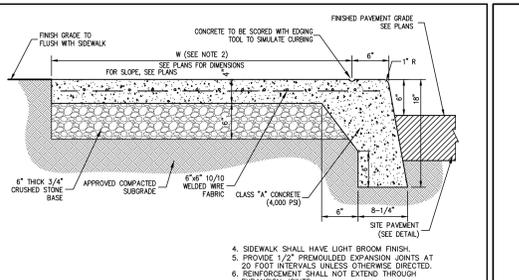
**POROUS ASPHALT** 27A



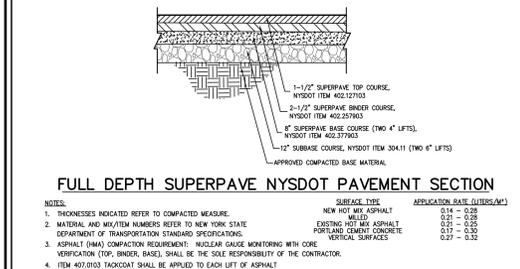
**NYSDOT TYPE VF150 CONCRETE CURB** 29



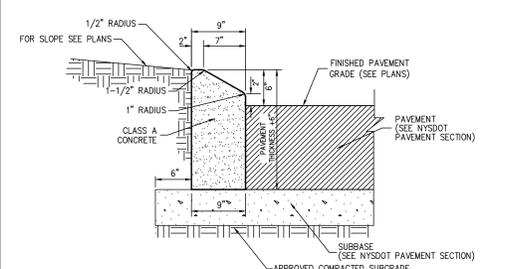
**BUILDING PERIMETER MONOLITHIC CURB & SIDEWALK** 31



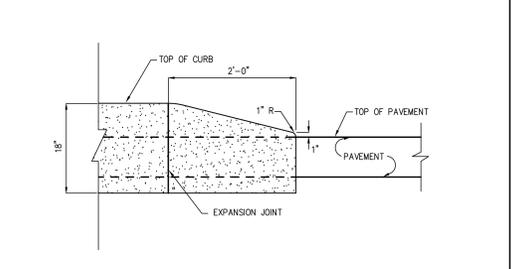
**MONOLITHIC CONCRETE CURB AND SIDEWALK** 33



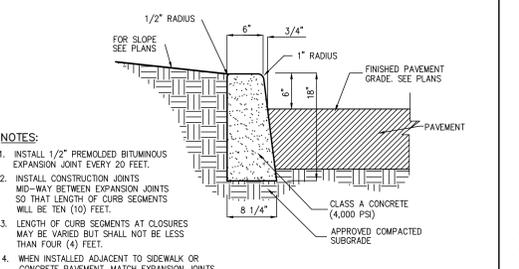
**FULL DEPTH SUPERPAVE NYSDOT PAVEMENT SECTION** 27



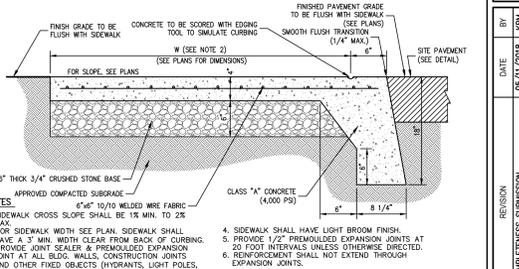
**NYSDOT TYPE M150 CONCRETE CURB** 28



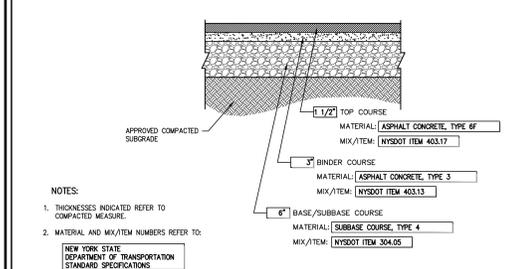
**CONCRETE CURB ENDING** 30



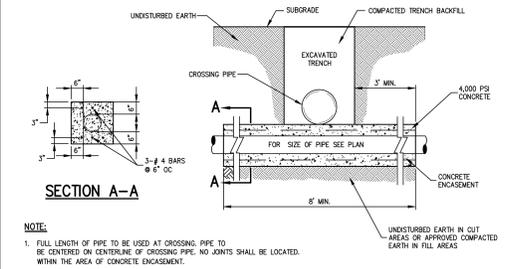
**CAST-IN-PLACE CONCRETE CURB** 32



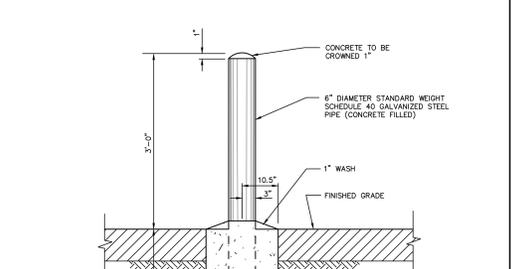
**MONOLITHIC CONCRETE FLUSH CURB AND SIDEWALK** 34



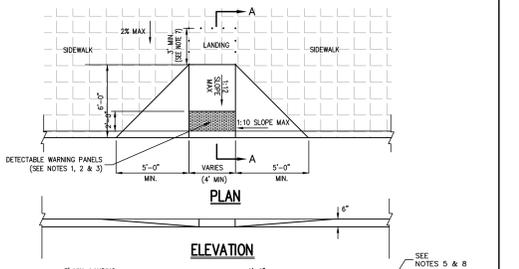
**NYSDOT FULL DEPTH PAVEMENT SECTION (SUPERPAVE)** 27



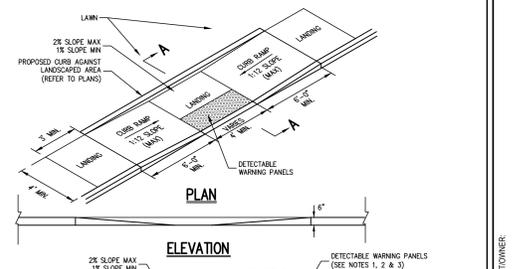
**CONCRETE ENCASEMENT** 37



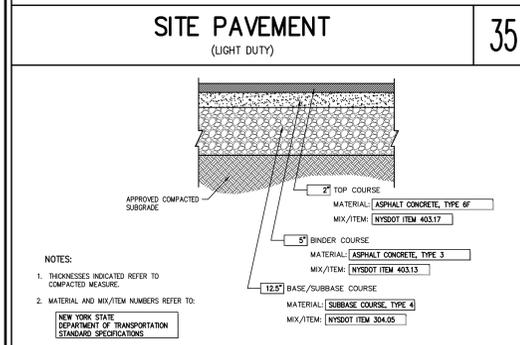
**STEEL PIPE PROTECTION POST** 39



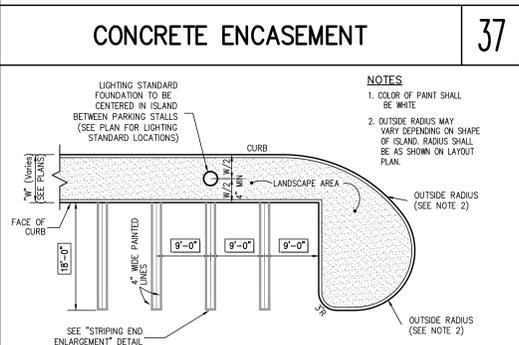
**DROP CURB & RAMP (TYPE A)** 40



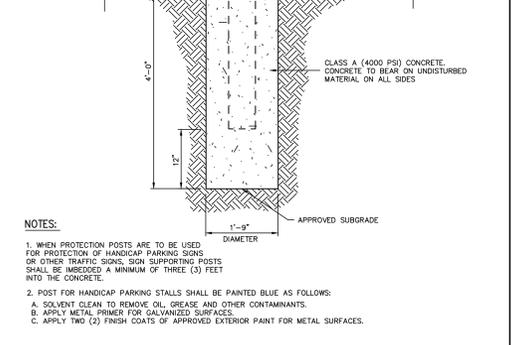
**DROP CURB & RAMP (TYPE B)** 41



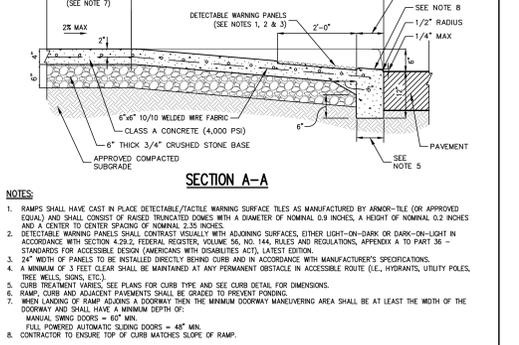
**SITE PAVEMENT (LIGHT DUTY)** 35



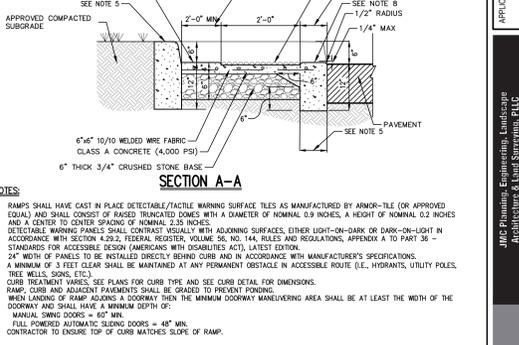
**90° PARKING (DOUBLE STRIPING - CURBED ISLAND AND CURBED END)** 38



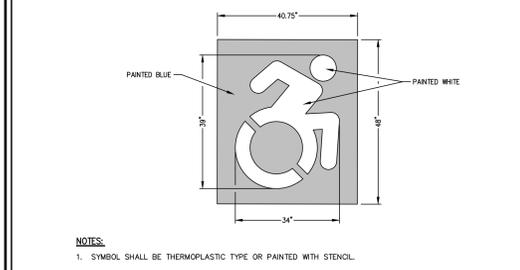
**ACCESSIBLE PARKING (DOUBLE STRIPING - NEW YORK)** 46



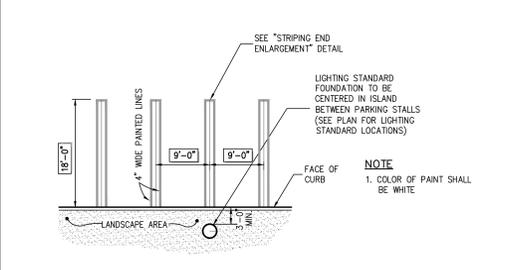
**TYPICAL ACCESSIBLE PARKING STALL AND AISLE (TYPE A)** 47



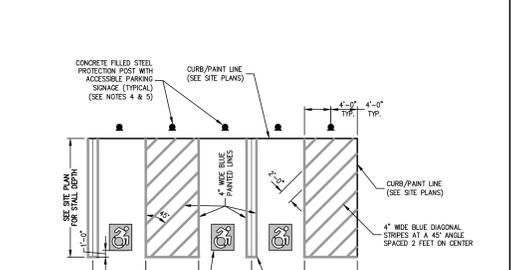
**CONCRETE SIDEWALK** 48



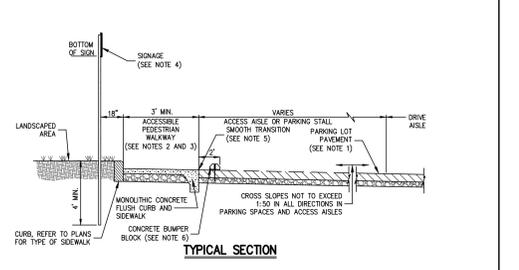
**SITE PAVEMENT (HEAVY DUTY)** 36



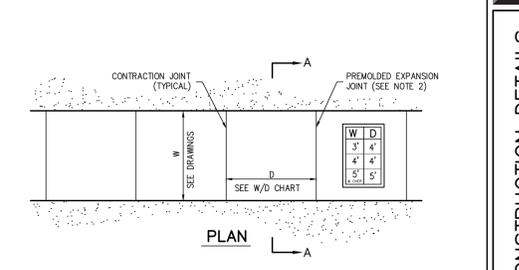
**90° PARKING (DOUBLE STRIPING - CURBED PERIMETER)** 44



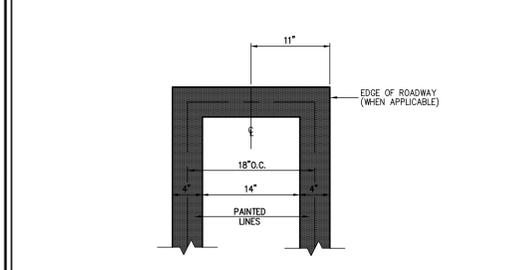
**ACCESSIBLE PARKING (DOUBLE STRIPING - NEW YORK)** 46



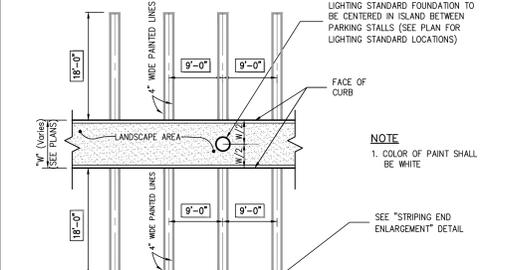
**TYPICAL ACCESSIBLE PARKING STALL AND AISLE (TYPE A)** 47



**CONCRETE SIDEWALK** 48



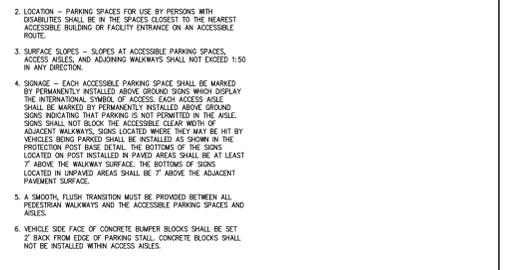
**STRIPING END ENLARGEMENT** 43



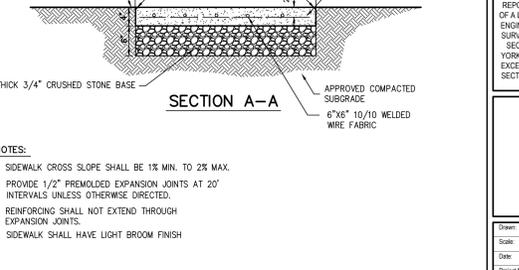
**90° PARKING (DOUBLE STRIPING - CURBED ISLAND)** 45



**ACCESSIBLE PARKING (DOUBLE STRIPING - NEW YORK)** 46



**TYPICAL ACCESSIBLE PARKING STALL AND AISLE (TYPE A)** 47



**CONCRETE SIDEWALK** 48

**CONSTRUCTION DETAILS**  
COMMERCIAL CAMPUS AT FIELDS CORNER  
TOWN OF SOUTH/THREAT, NEW YORK

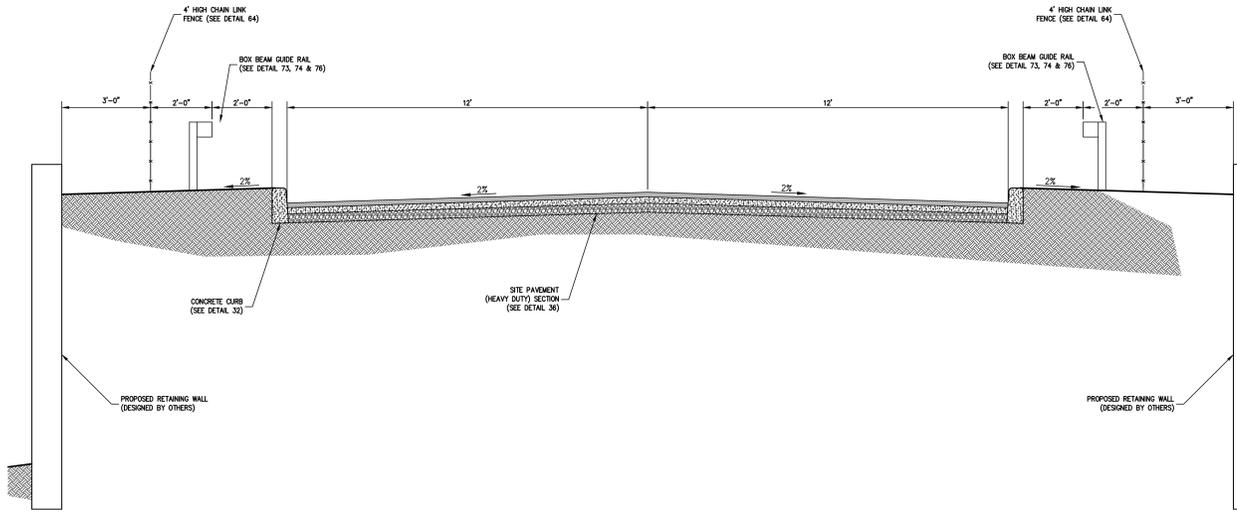
Drawn: KSM Approved: RJP  
Scale: NOT TO SCALE  
Date: 11/06/2017  
Project No: 14012  
Sheet No: DET-3

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209.9 SUBSECTION 2.

APPLICANT: PUTNAM SEABURY PARTNERS, L.P.  
120 BELLEVILLE ROAD - BIRTON, NY 13554  
VOICE: 843.833.5235 FAX: 843.833.2702  
WWW.JMCINC.COM

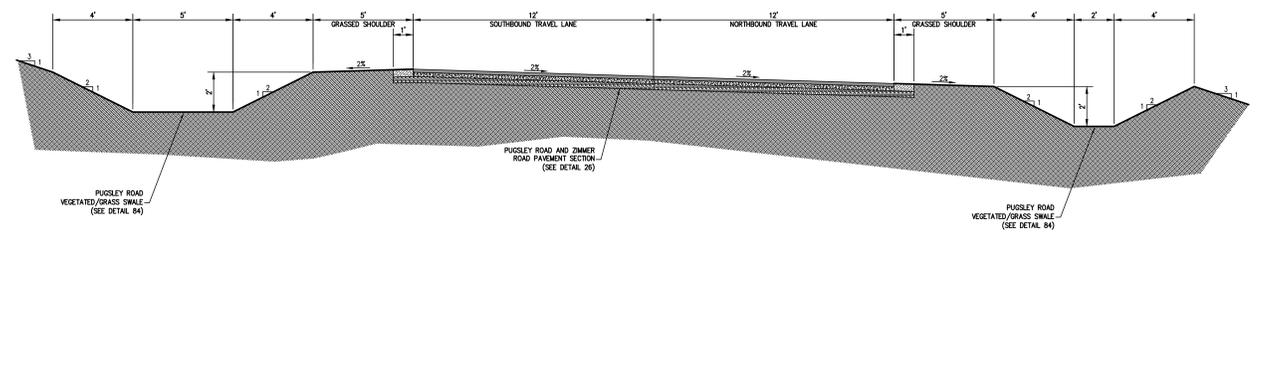
JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.





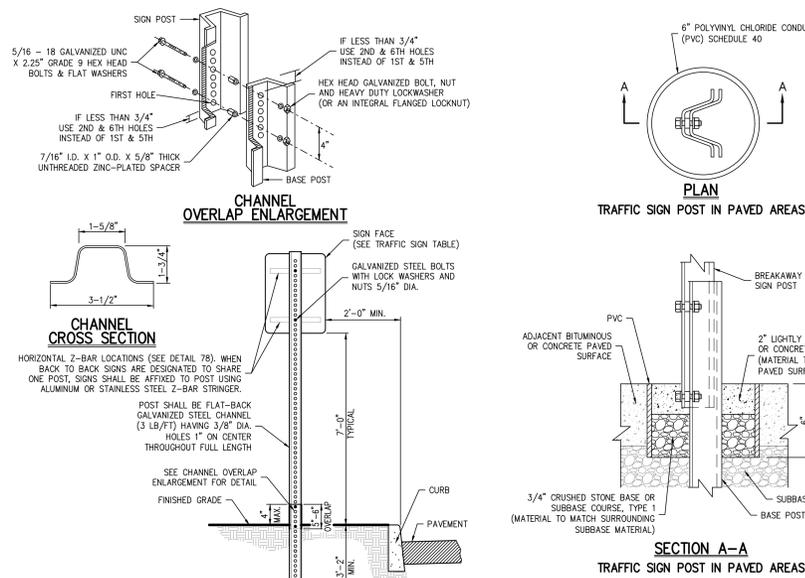
BARRETT ROAD TYPICAL ROAD CROSS SECTION

65



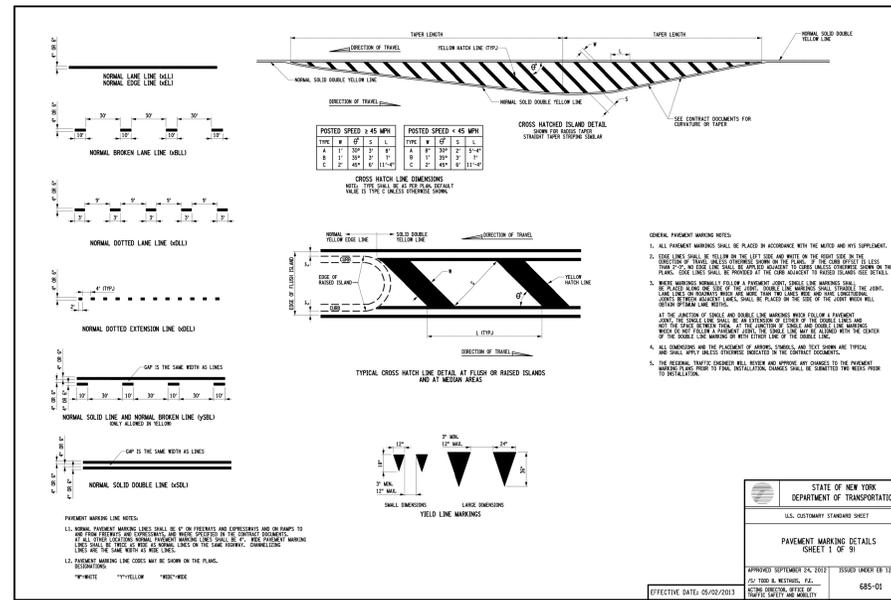
PUGSLEY ROAD TYPICAL ROAD CROSS SECTION

66



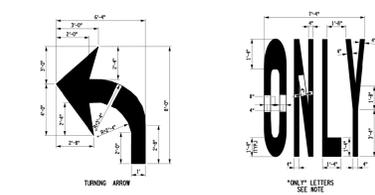
TRAFFIC SIGN POST  
(BREAKAWAY STEEL CHANNEL)

67



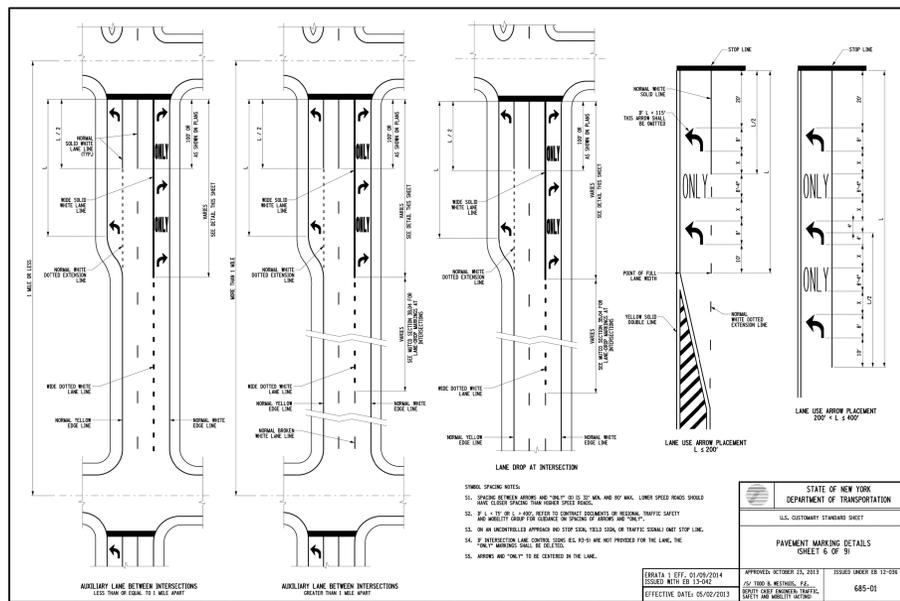
PAVEMENT MARKING

68



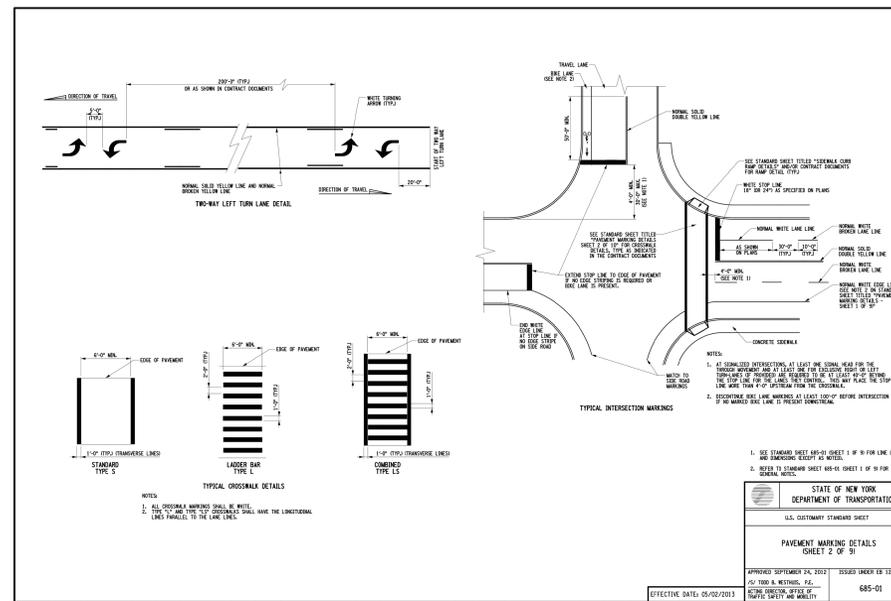
PAVEMENT MARKING

69



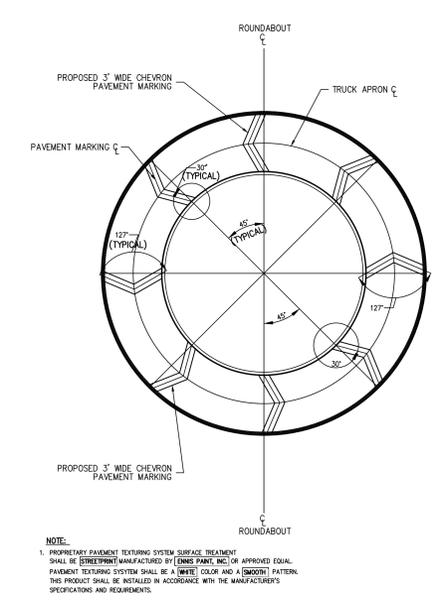
PAVEMENT MARKING

70



PAVEMENT MARKING

71



TRUCK APRON PAVEMENT MARKINGS  
(WITH PAVEMENT TEXTURING SYSTEM)

72

NO.	REVISION	DATE	BY
1.	DATE COMPLETION SUBMISSION	05/17/2018	KSM
2.	FEES COMPLETION SUBMISSION	03/18/2019	KSM
3.	REVISED PER TOWN COMMENTS	05/07/2019	KSM
4.	REVISED PER TOWN COMMENTS	11/19/2019	KSM
5.	REVISED PER NYDCP COMMENTS	09/17/2020	KSM

APPLICANT/TOWN: PUTNAM SEABURY PARTNERS, L.P.  
 PROJECT: COMMERCIAL CAMPUS AT FIELDS CORNER  
 CHARTER: TOWN OF SOUTH-EAST, NEW YORK

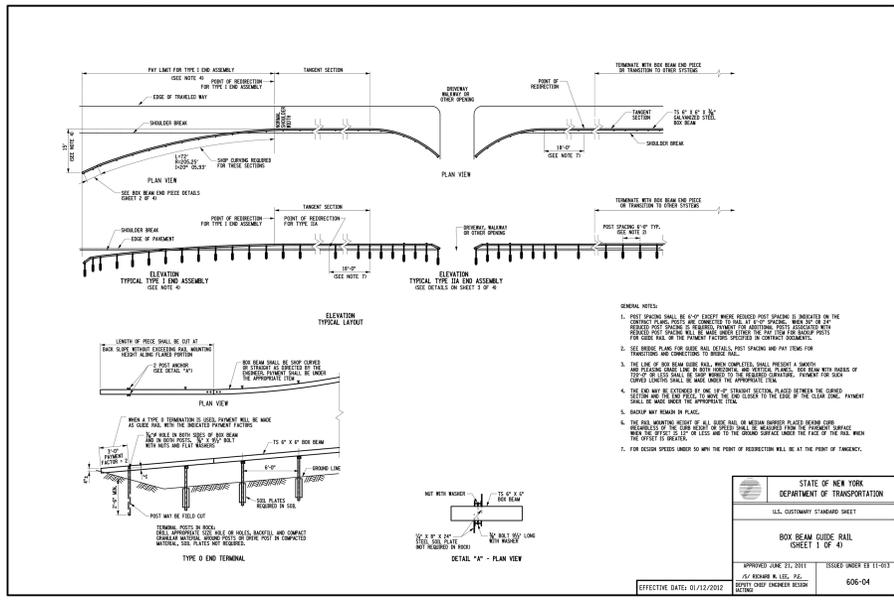
APPROVED: JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - BIRMINGHAM, AL 35204  
 100 WEST 17TH STREET - CHARTER, NY 10514  
 WWW.JMCPINC.COM

CONSTRUCTION DETAILS  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTH-EAST, NEW YORK

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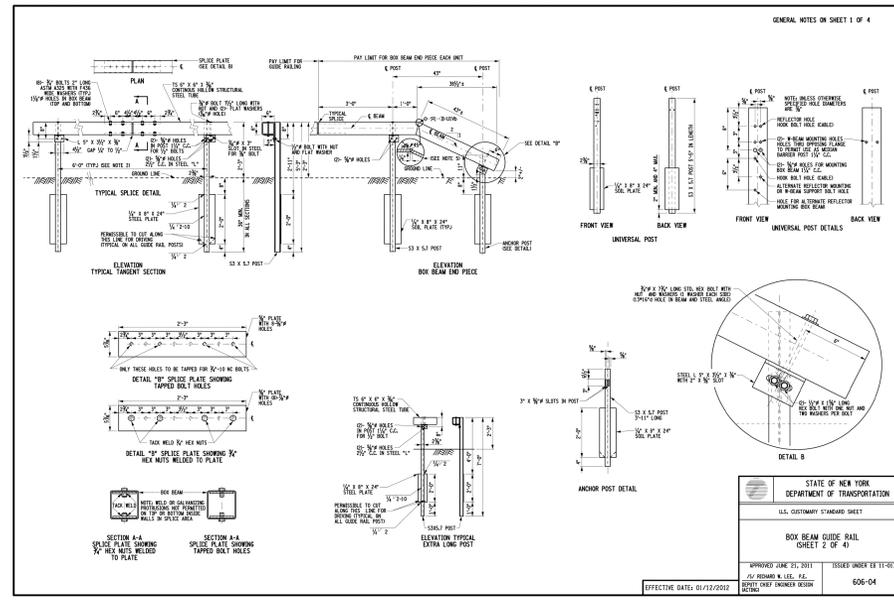
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 Date: 11/06/2017  
 Project No: 14012  
 HD-2015 | DET-5  
 Drawing No: C-904

NOT FOR CONSTRUCTION



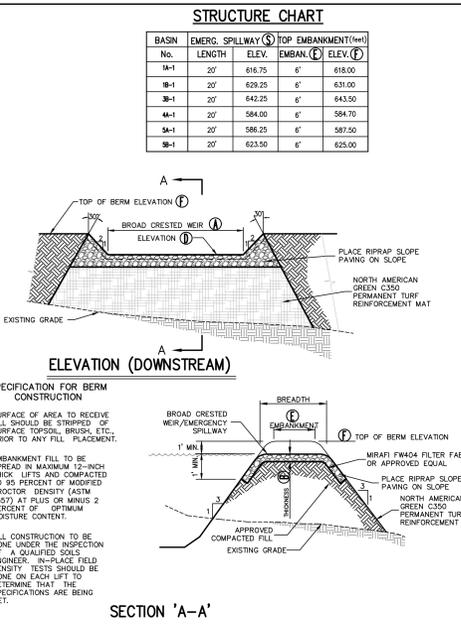
**BOX BEAM GUIDE RAIL**

73



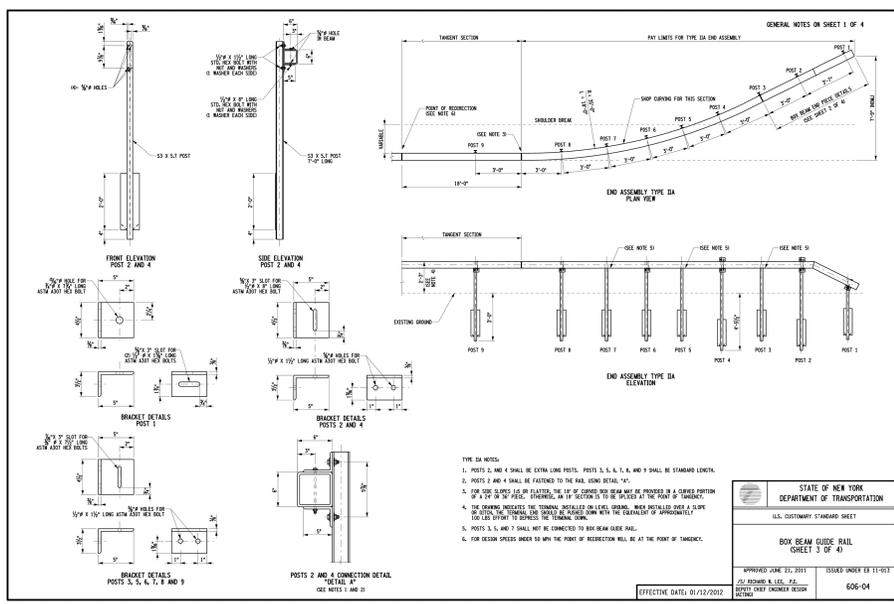
**BOX BEAM GUIDE RAIL**

74



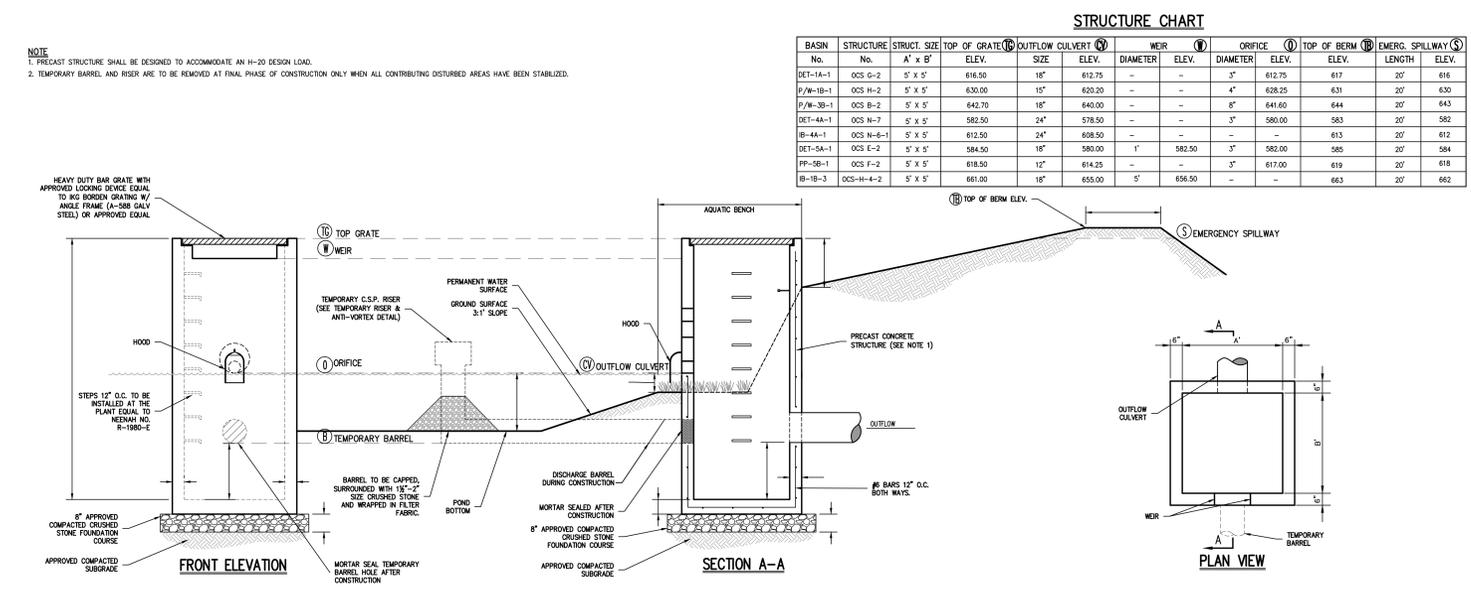
**RIP-RAP EMERGENCY SPILLWAY**

75



**BOX BEAM GUIDE RAIL**

76



**OUTLET CONTROL STRUCTURE**

77

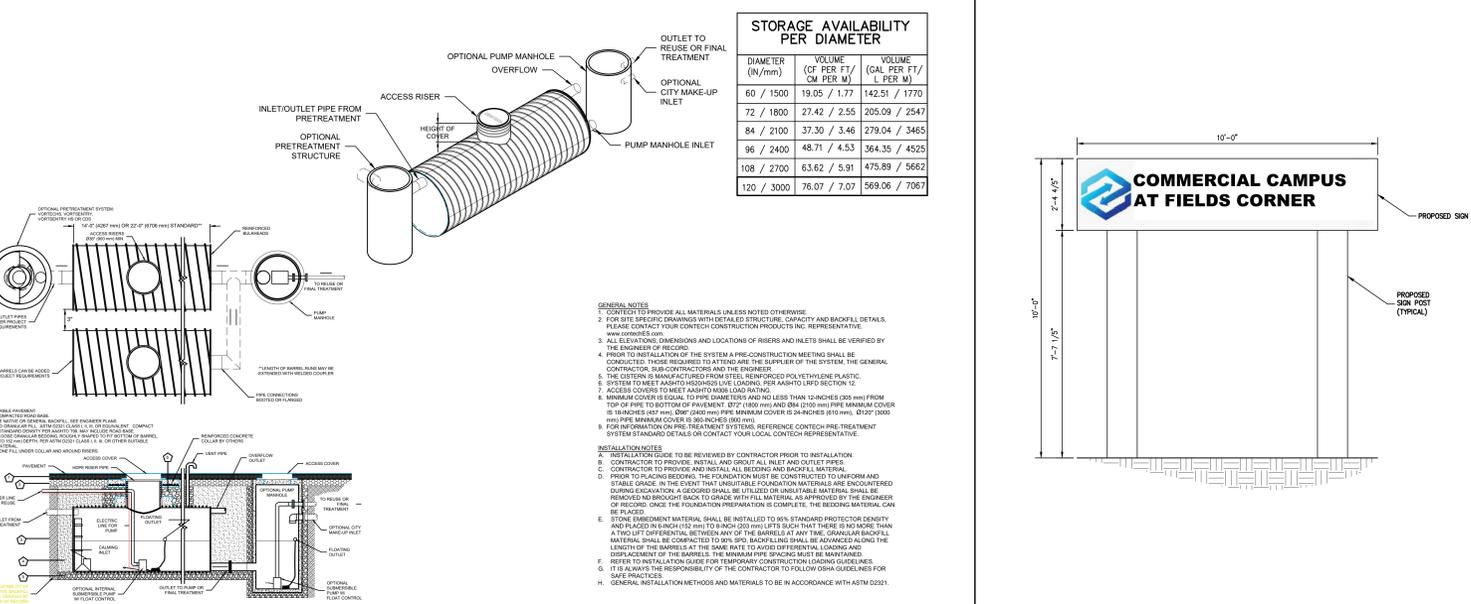
**SIGN BLANK**

A	B	C	D	E	POST SPACING	AREA (SQ. FT.)	SEE NOTE
12"	12"	12"	12"	12"	12"	1.44	1
18"	18"	18"	18"	18"	18"	3.24	1
24"	24"	24"	24"	24"	24"	5.76	1
30"	30"	30"	30"	30"	30"	9.00	1
36"	36"	36"	36"	36"	36"	12.96	1
42"	42"	42"	42"	42"	42"	17.64	1
48"	48"	48"	48"	48"	48"	23.04	1
54"	54"	54"	54"	54"	54"	29.16	1
60"	60"	60"	60"	60"	60"	36.00	1
66"	66"	66"	66"	66"	66"	43.56	1
72"	72"	72"	72"	72"	72"	51.84	1
78"	78"	78"	78"	78"	78"	60.84	1
84"	84"	84"	84"	84"	84"	70.56	1
90"	90"	90"	90"	90"	90"	81.00	1
96"	96"	96"	96"	96"	96"	92.16	1
102"	102"	102"	102"	102"	102"	104.04	1
108"	108"	108"	108"	108"	108"	116.64	1
114"	114"	114"	114"	114"	114"	130.00	1
120"	120"	120"	120"	120"	120"	144.00	1

**STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION**  
**SIGN BLANK DETAILS (SHEET 1 OF 2)**  
 APPROVED: JUNE 21, 2011 ISSUED UNDER TR 11-011  
 J. J. ROYER, M. E., P.E. (SEAL) (STAMP)  
 J. J. ROYER, M. E., P.E. (SEAL) (STAMP)  
 645-01

**SIGN BLANK**

78



**120" DIAMETER DURAMAXX SRPE CISTERN**

79

**FREESTANDING SIGN SCHEMATIC**

80

NOT FOR CONSTRUCTION

**APPLICANT:** PUTNAM SEABURY PARTNERS, L.P.  
**DATE:** 05/17/2018  
**BY:** JMC  
**REVISION:** 1. DATE COMPLETION SUBMISSION 05/17/2018  
 2. DATE COMPLETION SUBMISSION 05/17/2018  
 3. DATE COMPLETION SUBMISSION 05/17/2018  
 4. REVISED PER TOWN COMMENTS 05/17/2018  
 5. REVISED PER TOWN COMMENTS 05/17/2018  
 6. REVISED PER TOWN COMMENTS 05/17/2018

**JMC**  
 JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 JMC Site Development Consultants, LLC  
 John Meyer Consulting, Inc.  
 120 BEAUFORT ROAD - AUBURN, NY 13054  
 VOICE: 814.233.5235 - FAX: 814.272.2702  
 WWW.JMCCONSTRUCTION.COM

**CONSTRUCTION DETAILS**  
**COMMERCIAL CAMPUS AT FIELDS CORNER**  
 TOWN OF SOUTHHEAST, NEW YORK

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Drawn: KSM Approved: RJP  
 Scale: NOT TO SCALE  
 Date: 11/06/2017  
 Project No: 14012  
 HD-2015: DET-6  
 Drawing No: C-905





### CDS5668-10-C DESIGN NOTES

THE STANDARD CDS5668-10-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO MEET YOUR REQUIREMENTS.

**CONFIGURATION DESCRIPTION**  
 GRATED INLET ONLY (NO INLET PIPE)  
 GRATED INLET WITH INLET PIPE OR PIPES  
 CURB INLET ONLY (NO INLET PIPE)  
 CURB INLET WITH INLET PIPE OR PIPES  
 SEPARATE OIL BAY/LEAF SINGLE INLET PIPE (REQUIRED FOR THIS CONFIGURATION)  
 SEDIMENT WEIR FOR HDP/HDPE CONFORMING UNITS

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WQS-03
WATER QUALITY FLOW RATE (CFS OR L/S)	18.80
PEAK FLOW RATE (CFS OR L/S)	26.80
RETURN PERIOD OF PEAK FLOW (YRS)	10
SCREEN APERTURE (2000 OR 4700)	2400

**PIPE DATA**

PIPE DATA	SIZE	MATERIAL	DIAMETER TEST
INLET PIPE 1	24"	HDPE	30"
INLET PIPE 2	24"	HDPE	30"
OUTLET PIPE	24"	HDPE	30"

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (\*) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WQS-04
WATER QUALITY FLOW RATE (CFS OR L/S)	18.80
PEAK FLOW RATE (CFS OR L/S)	26.80
RETURN PERIOD OF PEAK FLOW (YRS)	10
SCREEN APERTURE (2000 OR 4700)	2400

**PIPE DATA**

PIPE DATA	SIZE	MATERIAL	DIAMETER TEST
INLET PIPE 1	24"	HDPE	30"
INLET PIPE 2	24"	HDPE	30"
OUTLET PIPE	24"	HDPE	30"

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (\*) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
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**CONTECH**  
IMPROVED SOLUTIONS LLC

### CDS5678-10-C DESIGN NOTES

THE STANDARD CDS5678-10-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO MEET YOUR REQUIREMENTS.

**CONFIGURATION DESCRIPTION**  
 GRATED INLET ONLY (NO INLET PIPE)  
 GRATED INLET WITH INLET PIPE OR PIPES  
 CURB INLET ONLY (NO INLET PIPE)  
 CURB INLET WITH INLET PIPE OR PIPES  
 SEPARATE OIL BAY/LEAF SINGLE INLET PIPE (REQUIRED FOR THIS CONFIGURATION)  
 SEDIMENT WEIR FOR HDP/HDPE CONFORMING UNITS

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WQS-05
WATER QUALITY FLOW RATE (CFS OR L/S)	18.80
PEAK FLOW RATE (CFS OR L/S)	26.80
RETURN PERIOD OF PEAK FLOW (YRS)	10
SCREEN APERTURE (2000 OR 4700)	2400

**PIPE DATA**

PIPE DATA	SIZE	MATERIAL	DIAMETER TEST
INLET PIPE 1	24"	HDPE	30"
INLET PIPE 2	24"	HDPE	30"
OUTLET PIPE	24"	HDPE	30"

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (\*) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
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- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	WQS-06
WATER QUALITY FLOW RATE (CFS OR L/S)	18.80
PEAK FLOW RATE (CFS OR L/S)	26.80
RETURN PERIOD OF PEAK FLOW (YRS)	10
SCREEN APERTURE (2000 OR 4700)	2400

**PIPE DATA**

PIPE DATA	SIZE	MATERIAL	DIAMETER TEST
INLET PIPE 1	24"	HDPE	30"
INLET PIPE 2	24"	HDPE	30"
OUTLET PIPE	24"	HDPE	30"

**INSTALLATION NOTES**

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (\*) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
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### ROCK OUTLET PROTECTION (MINIMUM TAILWATER CONDITIONS)

**PLANVIEW**  
 ENDWALL, DISCHARGE PIPE, RISER, GRADED AGGREGATE FILTER OR FILTER CLOTH, DISCHARGE TO UNCONFINED SECTION (FLARED OUTLET) MINIMUM TAILWATER CONDITION, NO OVERFLOW.

**PROFILE VIEW**  
 DISCHARGE TO UNCONFINED SECTION (FLARED OUTLET) MINIMUM TAILWATER CONDITION, NO OVERFLOW.

**CROSS SECTION A-A**  
 GRADED AGGREGATE FILTER OR FILTER CLOTH, SEE RIPRAP STANDARDS AND SPECIFICATIONS.

RIP-RAP DISSIPATOR	CAPACITY Q cfs	Lo ft	d ft	W ft	δ50 in.
DET-1A-1 Outlet	15.33	14	18	15.50	4
DET-1A-2 Outlet	15.33	14	18	15.50	6
PIW-3B-1 Outlet	30.68	21	15	22.25	11
PIW-3B-1 Outlet	6.52	8	18	9.50	4
PR-5B-1 Outlet	0.47	6	12	8.00	3

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### WATER QUALITY CONTROL STRUCTURE CONTECH CDS5668-10-C (WQS E-11, WQS H-8 & WQS-0-3)

**SECTION B-B**  
 FRAME TO BE THOROUGHLY BEDED IN 1/2" CEMENT MORTAR MIX.

**SECTION A-A**  
 ADJUST TO GRADE WITH BROCK (NEW C-32 GRADE WALL) OR PRECAST CONCRETE RING SECTIONS.

**PLAN VIEW**  
 ALL LEFT IN HOLES TO BE PLUGGED AND MORTARED ROSE AND OUT.

**SCHEDULE OF INVERTS**

STORM WATER MANAGEMENT AREA	DESIGNATION	TOP ELEV.	A INLET SIZE	B INLET SIZE	C WEIR LENGTH	D OUTLET SIZE
1B-1	BMH H-7-2	671.00	24" HDPE	24" HDPE	6'	12" HDPE
3B-1	BMH B-6-3	647.00	24" HDPE	12" HDPE	6'	12" HDPE

**CONTECH**  
IMPROVED SOLUTIONS LLC

### WATER QUALITY CONTROL STRUCTURE CONTECH CDS5678-10-C (WQS A-12 & WQS E-8-1)

**SECTION B-B**  
 FRAME TO BE THOROUGHLY BEDED IN 1/2" CEMENT MORTAR MIX.

**SECTION A-A**  
 ADJUST TO GRADE WITH BROCK (NEW C-32 GRADE WALL) OR PRECAST CONCRETE RING SECTIONS.

**PLAN VIEW**  
 ALL LEFT IN HOLES TO BE PLUGGED AND MORTARED ROSE AND OUT.

**SCHEDULE OF INVERTS**

STORM WATER MANAGEMENT AREA	DESIGNATION	TOP ELEV.	A INLET SIZE	B INLET SIZE	C WEIR LENGTH	D OUTLET SIZE
4A-1	BMH A-3	614.00	14' X 14' 36" HDPE	36" HDPE	14'	36" HDPE
5A-1	BMH E-5	610.00	10' X 10' 36" HDPE	36" HDPE	8'	36" HDPE
5B-1	BMH F-5	638.00	5' X 5' 36" HDPE	36" HDPE	5'	36" HDPE
1A-1	BMH G-4	632.50	10' X 10' 36" HDPE	36" HDPE	8'	36" HDPE
1B-3	BMH O-2	667.00	5' X 5' 24" HDPE	24" HDPE	5'	15" HDPE

**CONTECH**  
IMPROVED SOLUTIONS LLC

### ROCK OUTLET PROTECTION (MAXIMUM TAILWATER CONDITIONS)

**PLANVIEW**  
 DISCHARGE TO SEMI-CONFINED SECTION (FLARED OUTLET) MINIMUM TAILWATER CONDITION, NO OVERFLOW.

**PROFILE VIEW**  
 DISCHARGE TO SEMI-CONFINED SECTION (FLARED OUTLET) MINIMUM TAILWATER CONDITION, NO OVERFLOW.

**CROSS SECTION A-A**  
 GRADED AGGREGATE FILTER OR FILTER CLOTH, SEE RIPRAP STANDARDS AND SPECIFICATIONS.

RIP-RAP DISSIPATOR	CAPACITY Q cfs	Lo ft	d ft	W ft	δ50 in.
IB-1A-1 Inlet	11.96	26	15	11.65	4
DET-1A-1 Inlet	15.21	14	36	8.00	3
IB-1A-1 Inlet	49.54	13	36	8.20	3
DET-4A-1 Inlet	51.73	13	36	8.20	3
IB-1A-1 Inlet	79.97	49	30	22.10	8
DET-5A-1 Inlet	66.61	24	36	12.60	4
IB-1B-3 Inlet	18.94	10	18	5.50	2
DET-1B-1 Inlet	111.45	76	30	32.9	14
DET-3B-1 Inlet	44.10	13	36	8.20	3
IB-3B Inlet	2.59	6	15	3.65	2
PR-5B-1 Inlet	11.15	11	18	5.50	3
IB-5B-1 Inlet	12.07	34	12	15.00	6

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### BYPASS MANHOLE (BMH H-7-1 & BMH B-6-4)

**ELEVATION**  
 28'-0" TOTAL HEIGHT, LOW CLEARANCE 11'-0", STEEL HANGER BEAM (DESIGNED BY OTHERS), EXTRUDED ALUMINUM HEIGHT BAR (DESIGNED BY OTHERS), STEEL POST (TYPICAL) (DESIGNED BY OTHERS), POST FOUNDATION (TYPICAL) (DESIGNED BY OTHERS).

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### BYPASS MANHOLE (BMH A-3, BMH E-5, BMH F-5 & BMH 6-4)

**ELEVATION**  
 22'-0" TOTAL HEIGHT, LOW CLEARANCE 11'-0", STEEL HANGER BEAM (DESIGNED BY OTHERS), EXTRUDED ALUMINUM HEIGHT BAR (DESIGNED BY OTHERS), STEEL POST (TYPICAL) (DESIGNED BY OTHERS), POST FOUNDATION (TYPICAL) (DESIGNED BY OTHERS).

**CONTECH**  
IMPROVED SOLUTIONS LLC

### ROCK OUTLET PROTECTION (MAXIMUM TAILWATER CONDITIONS)

**CROSS SECTION**  
 PROPOSED FINISH GRADE, TOP OF POND, OVERFLOW LEVEL, OBSERVATION WELL/CLEANOUT, OVERFLOW STORMDRAIN INLET (ABOVE MAX. PONDING DEPTH), PONDING AREA, GRASS FILTER, PROPOSED PLANTINGS, BOTTOM OF POND, MULCH LAYER, PLANTING SOIL, FILTER FABRIC, 1 1/2" - 2" CLEAN GRAVEL, 6" PERFORATED UNDERGROUND COLLECTION PIPE IN GRAVEL JACKET.

POND No.	BOTTOM OF POND AREA REQ'D	SURFACE AREA REQ'D	SURFACE AREA PROVIDED	TOP BERM ELEV.	PONDING AREA	MULCH SOIL C	PLANTING D	GRAVEL
3B-2-A	656	4,400	4,470	657	6"	3"	18"	12"
3B-2-B	660	2,273	2,855	661	6"	3"	18"	12"
4A-2-1	592	6,300	6,373	593	6"	3"	33"	12"
4A-2-2	557.50	2,700	2,770	558.50	6"	3"	33"	12"
40	660	2,234	2,530	661	6"	3"	24"	12"

**CONTECH**  
IMPROVED SOLUTIONS LLC

### FIELDS CORNER ROAD CLEARANCE BAR - ±40' NORTH OF BARRETT ROAD

(DESIGNED BY OTHERS)

### FIELDS CORNER ROAD CLEARANCE BAR - ±950' SOUTH OF TOWNLINE

(DESIGNED BY OTHERS)

### BIORETENTION FACILITY

(DESIGNED BY OTHERS)

NO.	REVISION	DATE	BY	CHKD.
1	REVISED PER TOWN COMMENTS	05/07/2019	JMC	JMC
2	REVISED PER PERM COMMENTS	11/16/2019	JMC	JMC
3	SWPP REVISED	12/05/2019	JMC	JMC
4	REVISED PER INCEP COMMENTS	06/17/2020	JMC	JMC

APPLICANT: PUTNAM SEABURY PARTNERS, L.P.  
 120 BELLEVILLE ROAD - AUBURN, NY 13024  
 315.486.2222  
 www.jmcinc.com

JMC Planning, Engineering, Landscape Architecture & Land Surveying, LLC  
 John Meyer Consulting, Inc.  
 120 BELLEVILLE ROAD - AUBURN, NY 13024  
 315.486.2222  
 www.jmcinc.com

**CONSTRUCTION DETAILS**  
 COMMERCIAL CAMPUS AT FIELDS CORNER  
 TOWN OF SOUTH-EAST, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: KSM Approved: RJP  
 Scale: NOT TO SCALE  
 Date: 03/18/2019  
 Project No: 14012  
 HD-901: DET-9  
 Drawing No: C-908

NOT FOR CONSTRUCTION